

CITY OF AUSTIN

CASE # 2011-035597 RM
PLAN REVIEW # _____

ROW # 10581724

APPLICATION TO THE RESIDENTIAL DESIGN
AND COMPATIBILITY COMMISSION (RDCC)

GENERAL MODIFICATION WAIVER

STREET ADDRESS: 5106 Beverly Skyline

LEGAL DESCRIPTION: Subdivision - _____

Lot(s) 8 Block F Outlot _____ Division Beverly Hills Sec 2

LAND STATUS DETERMINATION CASE NUMBER (if applicable) _____

I/We Porter Baker on behalf of myself/ourselves as authorized agent for

Kirby Walker affirm that on 2 MAY 2011

hereby apply for a hearing before the Residential Design and Compatibility Commission for modification Section 2.8.1. of up to 25% increase in one or more of the following:

- ☒ Maximum Floor to area ratio .4 or Gross floor area 2300 sq ft.
☐ Maximum Linear feet of Gables protruding from setback plane
☐ Maximum Linear feet of Dormers protruding from the setback plane

Waive or modify the side wall articulation requirement of Section 2.7.

_____ Side Wall Length Articulation
(Please describe request. Please be brief but thorough).

Increase the allowed building to lot square foot ratio 1 to .42 to accommodate a total addition of 404 square feet. This will facilitate providing a 215 sq ft expansion to the kitchen and living room on the first floor, a 117 sq ft increase for an improved bathroom on the second floor, and a new 72 sq ft addition to the lower level for a small convenience 1/2 bathroom in the stairwell and a safer stairway to the lower yard and basement.

Waiver Increase Request - 251% F.A.R.

in a SF-3 zoning district.

Note: Certificate of Appropriateness: H (Historic) or HD (Historic Designation) - case goes to RDCC first. National Register Historical District (NRHD) Overlay: without H or HD - case goes to Historic Landmark Commission first.

D1/2

CITY OF AUSTIN
APPLICATION TO THE RESIDENTIAL DESIGN
AND COMPATIBILITY COMMISSION
GENERAL MODIFICATION WAIVER

REASONABLE USE:

1. The Residential Design and Compatibility Standards Ordinance applicable to the property does not allow for a reasonable use because:

It limits the use of living space needed because it counts the large basement and large garage that are under useable living space. It limits the reasonable addition of small improvements to the function and safe access to the property for a property that is not perceived as unusually large.

REQUEST:

2. The request for the modification is unique to the property in that:

The property is on a steep corner lot with heavy vegetation. The home is stacked vertically, yet not perceived as particularly large due to the terrain. The new stairwell will provide easier and safer access to the backyard and the basement below the house.

AREA CHARACTER:

3. The modification will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

The hillside location facilitates the large building size because the large basement and garage are under the living space and have very low visibility from the street or neighbors. The house has very low visibility from the street or neighbors due to the steep hillside and large number of trees. Only one neighbor can even see the addition requested. The corner lot is perceived as additional lot square footage making the home and addition appear less than the neighbor's large houses. The home is well below the impervious cover guideline and far below the McMansion height guidelines. The modification will enhance the usability and function and safety of the home without a negatively perceived increase in size. The modification will improve the aesthetics and value of the home, and hence the neighborhood.

D1/3

CITY OF AUSTIN
APPLICATION TO THE RESIDENTIAL DESIGN
AND COMPATIBILITY COMMISSION

GENERAL MODIFICATION WAIVER

APPLICANT CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Mailing Address 13412 Onion Creek Dr
City, State MANHATTAN, TX Zip 78652
Phone 512-468-8668 Printed Name Porter Baker
Signature Porter Baker Date 2 MAY 2011

OWNER'S CERTIFICATE – I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Mailing Address 5106 Beverly Skyline
City, State Austin TX Zip 78731
Phone 512-331-1256 Printed Name Kirby Walker
Signature [Signature] Date MAY 2, 2011

b1/4

TO: Residential Design and Compatibility Commission

FROM: Porter Baker, Probuild Enterprises LLC, manager

Reference 5106 Beverly Skyline

3 May 2011

Attached is our request for an exception to the FAR guidelines.

A Brief History:

On April 8, I submitted a permit application, attached, without knowledge that the basement on this property had to be included in the building coverage calculations. When I submitted the application, I looked used the county tax records for the square footages and I personally measured the decks. There was no number for basement square footage in the county tax records and I assumed it was of no consequence.

We were issued a permit. We started excavation and the framing of a stair to the lower level. We had to move the main sewer line to accommodate the stair. In that process the customer thought it was a good idea to add a toilet pipe and possible future sink pipe at the bottom of the stairwell for use when they were working/in leisure in the lower yard or in the basement. I agreed and had the plumber put in the requested pipes for future use while he was there (about a 1.5 hr additional cycle).

I went back to apply for a modification to the existing permit to include the ½ bath downstairs in the stairwell. I was told I had to submit a new permit for the ½ bath - which I did. In review of the new permit, it was pointed out to me by Ms Ramirez that the basement was not included in the prior permit and a permit should not have been issued because the FAR exceeded .4 and that I would need an exception. She read me the regulation regarding the 3 ft or more of exposed basement. This house has more than 3 ft of basement exposed.

So I went back to the jobsite and began preparing the required documentation (attached) for the exception. This time, I personally measured everything on the house. I found the county records were significantly inaccurate in living area, garage area, and of course missing the basement square footage. The garage was very large and the basement was also large putting the FAR at 45%.

I take responsibility for the error of not knowing the new requirements for basements. I normally personally measure everything on a house before the application, and I did not do that this time. I have corrected all of the measurements and to the best of my knowledge and ability the revised numbers on the revised application are now correct. The county records should be updated to reflect these numbers.

D1/E

I have terminated work at the site with the concrete stairwell and foundation forms in place ready to pour.

Hence, we request the exception. In my opinion, the house definitely merits an exception as articulated in the application. The few square feet will not be even noticeable from the street or neighbors and is quite consistent with other homes in the area. This is one of the smaller lots in the neighborhood. There are also other lots in the neighborhood which could be built out to absolutely huge mansions (such as the one across the street that can build up to 13,000 sf) based on their lot size.

I request a review and approval by the commission

Thank you

A handwritten signature in cursive script, reading "Porter Baker". The signature is written in dark ink and is positioned below the "Thank you" text.

D1/6


Our home at 5106 Beverly Skyline which we purchased in 2006 was built in 1975 and had an addition built in the mid 80's. We have been planning a small addition and remodel of our home for almost two years. A primary reason for the addition is to provide safe access to the back yard and the basement. The interior stairwell to the basement was steep and difficult to use and will become more difficult over time because we are in our early 60's and intend to live in this house for a least another 20 years. Our new stair addition provides a new stairwell to get to both the basement and the backyard, eliminating both the interior and exterior staircases that were unsafe. Moving of the interior staircase is also necessary to accomplish the architecture design of the remodel which allows us to expand our kitchen and open up our living areas so we can enjoy more quality time with our family and friends. We also recently had an arborist tell us that our trees are not thriving because of the runoff in our backyard and lack of good topsoil. The overall plan for the remodel includes terracing our very steep backyard to prevent continued erosion, and creating a play area for our grandchildren.

Our permit was approved on April 8, 2011, and we are now three weeks into the project. This week, we learned that there is a problem with our permit due to the total square footage of our home. Our lot is 10,240 sq ft and according to the 40% rule, we can build up to 4096 sq ft. We purchased our home in 2006 and the tax records showed our home as 3164 sq ft. We are adding 383 sq ft to the back of our house so we assumed that we were well within this guideline. The engineer also showed that we were well within the guidelines. Our home has a very large (788 sq ft) 4 car tandem garage built by the previous owners which is now being included in the total building area. We have a basement (713 sq ft), which was built with the original home in 1975 and is entirely under the footprint of our home. It has never been included in the square footage as listed on the county tax records, but we are now being instructed to include this square footage in the total building area. This space is used primarily for storage and occasionally as an area to have a 'garage' type music jam.

According to the calculations done by our contractor using COA guidelines, the new proposed square footage exceeds the .4 rule by 475 square feet. The building area that is now being included in the calculations for the garage and the basement total over 1500 sq. ft and represents over 1/3 of the total building area square footage.

Our home and addition are well within the McMansion ordinance height requirements and with the impervious cover guidelines; however, we are over the total square footage 40% guidelines mostly because of our large tandem garage and basement, which is entirely under our living space. Our neighborhood does not have consistent lot sizes because of the steep terrain and a greenbelt area. Comparing lot sizes with our nearby neighbors (~300 feet), our lot is the 2nd smallest, thereby also making our allowable building area using the 40% rule the 2nd smallest. Because of this, we feel that our small addition will be in keeping with the typical home size of our neighbors. We respectfully request a variance to the Maximum Floor to area ratio so that we can continue with our remodel.

Sincerely,


Kirby and Maureen Walker

CITY OF AUSTIN
RESIDENTIAL PERMIT APPLICATION "A"

BP Number PR-11-029332
Building Permit No. _____
Plat No. _____ Date 4/8/11
Reviewer B. H.

RESIDENTIAL PROJECT DATA

Service Address 5106 Beverly Skyline
Legal Description
Lot 8 Block F Subdivision Beverly Hills

Tax Parcel No. 0131030701
Section 2 Phase _____

If in a Planned Unit Development, provide Name and Case No.
(attach final approved copies of subdivision and site plan)

If this site is not a legally subdivided lot, you must contact the Development Assistance Center for a Land Status Determination.

Description of Work

☐ New Residence
☐ Duplex
☐ Garage ☐ attached ☐ detached
☐ Carport ☐ attached ☐ detached
☐ Pool

☒ Remodel (specify) Remodel Kitchen, Laundry, bath
stair, master bath, master closet
☒ Addition (specify) Extend living rm, kitchen,
master bath, master closet
☐ Other (specify) _____

Zoning (e.g. SF-1, SF-2...) SF-3

Height of Principal building 24 ft. # of floors 2 Height of Other structure(s) NA ft. # of floors NA

Does this site currently have water and wastewater availability? ☒ Yes ☐ No If no, please contact the Austin Water Utility at 512-972-0000 to apply for water and/or wastewater tap application, or a service extension request.

Does this site have a septic system? ☐ Yes ☒ No. If yes, for all sites requiring a septic field you must obtain an approved septic permit prior to a zoning review.

Does this site have a Board of Adjustment ruling? ☐ Yes ☒ No If yes, attach the B.O.A. documentation

Will this development require a cut and fill in excess of 4 feet? ☐ Yes ☒ No

Does this site front a paved street? ☒ Yes ☐ No A paved alley? ☐ Yes ☒ No

Is this property within the Residential Design and Compatibility Standards Ordinance Boundary Area? ☒ Yes ☐ No

VALUATIONS FOR REMODELS ONLY

Building \$ 25337
Electrical \$ 9327
Mechanical \$ 10000
Plumbing \$ 9387
Driveway/
Sidewalk \$ 0
TOTAL \$ 54061
(labor and materials)

VALUATIONS FOR NEW CONSTRUCTION OR ADDITIONS ONLY

Lot Size 10,240 sq. ft.
Job Valuation - Principal Building \$ 20,000
@ 60.4/SF (Labor and materials)
Job Valuation - Other Structure(s) \$ 0
(Labor and materials)

TOTAL JOB VALUATION
(sum of remodels and additions)

\$ 80,051
(Labor and materials)

PERMIT FEES
(For office use only)

	NEW/ADDITIONS	REMODELS
Building	\$ <u>333.00</u>	\$
Electrical	\$ <u>111.00</u>	\$
Mechanical	\$ <u>104.00</u>	\$
Plumbing	\$ <u>104.00</u>	\$
Driveway & Sidewalk	\$	\$
TOTAL	\$	\$

OWNER / BUILDER INFORMATION

OWNER	Name <u>KIRBY WALKER</u>	Telephone (h) <u>331-1256</u>
BUILDER	Company Name <u>Pro build Enterprises LLC</u>	(w) _____
	Contact/Applicant's Name <u>Porter Baker</u>	Telephone <u>468-8668</u>
		Pager _____
		FAX _____
RIVEWAY/ DEWALK	Contractor <u>NA</u>	Telephone _____
CERTIFICATE OF OCCUPANCY	Name <u>KIRBY WALKER</u>	Telephone <u>331-1256</u>
	Address <u>5106 Beverly Skyline</u>	City <u>Austin</u> ST <u>TX</u> ZIP <u>78731</u>

I like to be notified when your application is approved, please select the method:

Telephone _____ e-mail: allfe@earthlink.net

You may check the status of this application at www.ci.austin.tx.us/development/picrivr.htm

D1/8

CITY OF AUSTIN
RESIDENTIAL PERMIT APPLICATION "B"

CITY OF AUSTIN
RESIDENTIAL PERMIT APPLICATION

I understand that in accordance with Sections 25-1-411 and 25-11-66 of the Land Development Code (LDC), non-compliance with the LDC may be cause for the Building Official to suspend or revoke a permit and/or license. I understand that I am responsible for complying with any subdivision notes, deed restrictions, restrictive covenants and/or zoning conditional overlays prohibiting certain uses and/or requiring certain development restrictions (i.e., height, access, screening, etc.) on this property. If a conflict should result with any of these restrictions, it will be my responsibility to resolve it. I understand that, if requested, I must provide copies of all subdivision plat notes, deed restrictions, restrictive covenants, and/or zoning conditional overlay information that may apply to this property.

I acknowledge that this project qualifies for the Site Plan Exemption as listed in Section 25-5-2 of the LDC.

I understand that nothing may be built upon or over an easement. I further understand that no portion of any roof structure may overhang in any public utility or drainage easement.

I acknowledge that customer will bear the expense of any necessary relocation of existing utilities to clear this driveway location and/or the cost to repair any damage to existing utilities caused during construction.

I also understand that if there are any trees greater than 19 inches in diameter located on the property and immediately adjacent to the proposed construction, I am to schedule a Tree Ordinance review by contacting (512) 974-1876 and receive approval to proceed.

I agree that this application will expire on the 181st day after the date that the application is filed if the application is not approved and an extension is not granted. If the application expires, a new submittal will be required.

APPLICANT'S SIGNATURE [Signature] DATE 7 Apr 11

HOME BUILDER'S STATE REGISTRATION NUMBER (required for all new construction) _____

Rejection Notes/Additional Comments (for office use only):

FCAD - ✓
TPOES - ✓
BPA - ✓
Demo - will be removing walls after Addition is constructed
 No Demo needed
MANDA - ✓ no expired permits
GIS - ✓ No Flood Plain

Service Address _____

pl _____ s Signature _____ Date _____

RESIDENTIAL PERMIT APPLICATION "C"

ORIGINAL APPLICATION

BUILDING COVERAGE

Area of a lot covered by buildings or roofed areas, but not including (i) incidental projecting eaves and similar features, or (ii) ground covering, landscaping, or open recreational facilities.

- a. 1st floor conditioned area
- b. 2nd floor conditioned area
- c. 3rd floor conditioned area
- d. Basement
- e. Garage / Carport
 - ☒ attached
 - ☐ detached
- f. Wood decks [must be counted at 100%] + stairs
- g. Breezeways
- h. Covered patios
- i. Covered porches
- j. Balconies
- k. Swimming pool(s) [pool surface area(s)]
- l. Other building or covered area(s)

Existing	New / Addition
1778 * sq.ft.	215 sq.ft.
1386 * sq.ft.	215 sq.ft.
418 * sq.ft.	
817 sq.ft.	
24 sq.ft.	

117

TOTAL BUILDING AREA (add a. through l.)

OT 12,240 ~~7~~ 4432 sq.ft. 430 sq.ft.

TOTAL BUILDING COVERAGE ON LOT (subtract, if applicable, b., c., d., k. and l. if uncovered)

MAX 40% 4096 ~~7~~ last decks - 817

2435 sq.ft.
23.78 % of lot

IMPERVIOUS COVERAGE

Include building cover and sidewalks, driveways, uncovered patios, decks, air conditioning equipment pad, and other improvements in calculating impervious cover. Roof overhangs which do not exceed two feet or which are used for solar screening are not included in calculating coverage or impervious coverage. All water must drain away from buildings on this site and buildings on adjacent lots.

- a. Total building coverage on lot (see above) 2435 sq.ft.
- b. Driveway area on private property 506 sq.ft.
- c. Sidewalk / walkways on private property 16 sq.ft.
- d. Uncovered patios 50 sq.ft.
- e. Uncovered wood decks [may be counted at 50%] 817 x .5 = 409 sq.ft.
- f. Air conditioner pads 30 sq.ft.
- g. Concrete decks 30 sq.ft.
- h. Other (specify) concrete drainage 68 sq.ft.

TOTAL IMPERVIOUS COVERAGE (add a. through h.)

3514 sq.ft.
34.32 % of lot

MAX 45% 4608 ~~7~~

* = Calculations from TCAD RECORDS

OF AUSTIN
RESIDENTIAL PERMIT APPLICATION "D"
FLOOR AREA RATIO INFORMATION

DY10 APPROVED
ORIGINAL APPLICATION

TO BE COMPLETED FOR ALL PROPERTIES LOCATED WITHIN THE RESIDENTIAL DESIGN AND COMPATIBILITY
STANDARDS ORDINANCE BOUNDARY AREA.

Address 5106 Beverly Skyline, AUSTIN, 78731
Applicant's Signature [Signature] Date 7 Apr 11

GROSS FLOOR AREA AND FLOOR AREA RATIO as defined in the Austin Zoning Code.

	Existing	New / Addition
I. 1 st Floor Gross Area		
a. 1 st floor area (excluding covered or uncovered finished ground-floor porches)	<u>1778</u> sq.ft.	<u>+215</u> = <u>1993</u> sq.ft.
b. 1 st floor area with ceiling height over 15 feet.	sq.ft.	<u>0</u> sq.ft.
c. TOTAL (add a and b above)	sq.ft.	sq.ft.
II. 2 nd Floor Gross Area See note 1 below		
d. 2 nd floor area (including all areas covered by a roof i.e. porches, breezeways, mezzanine or loft)	<u>1386</u> sq.ft.	<u>+215</u> = <u>1601</u> sq.ft.
e. 2 nd floor area with ceiling height > 15 feet.	sq.ft.	<u>0</u> sq.ft.
f. TOTAL (add d and e above)	sq.ft.	sq.ft.
III. 3 rd Floor Gross Area See note 1 below		
g. 3 rd floor area (including all areas covered by a roof i.e. porches, breezeways, mezzanine or loft).	<u>0</u> sq.ft.	<u>0</u> sq.ft.
h. 3 rd floor area with ceiling height > 15 feet	sq.ft.	sq.ft.
i. TOTAL (add g and h above)	sq.ft.	sq.ft.
IV. Basement Gross Area		
j. Floor area outside footprint of first floor or greater than 3 feet above grade at the average elevation at the intersections of the minimum front yard setback line and side property lines.	<u>0</u> sq.ft.	<u>0</u> sq.ft.
V. Garage		
k. <input checked="" type="checkbox"/> attached (subtract 200 square feet if used to meet the minimum parking requirement)	<u>418 - 200 = 218</u> sq.ft.	<u>1</u> sq.ft.
l. <input type="checkbox"/> detached (subtract 450 square feet if more than 10 feet from principal structure)	sq.ft.	sq.ft.
VI. Carport (open on two or more sides without habitable space above it subtract 450 square feet)	<u>0</u> sq.ft.	<u>0</u> sq.ft.
VII. TOTAL	<u>3382</u> sq.ft.	<u>3812</u> sq.ft.

TOTAL GROSS FLOOR AREA (add existing and new from VII above)	<u>3812</u> sq. ft.
GROSS AREA OF LOT	<u>10,240</u> sq. ft.
FLOOR AREA RATIO (gross floor area / gross area of lot)	<u>37.2</u> %

For third floor meets all of the following criteria it is considered to be attic space and is not calculated as part of the overall Gross Floor Area of the structure.

- a. It is fully contained within the roof structure and the roof has a slope of 3 to 12 or greater
- b. It only has one floor within the roof structure
- c. It does not extend beyond the foot print of the floors below
- d. It is the highest habitable portion of the building; and
- e. Fifty percent or more of the area has a ceiling height of seven feet or less.

PROPOSED NEW ADDITION TO SINGLE FAMILY RESIDENCE

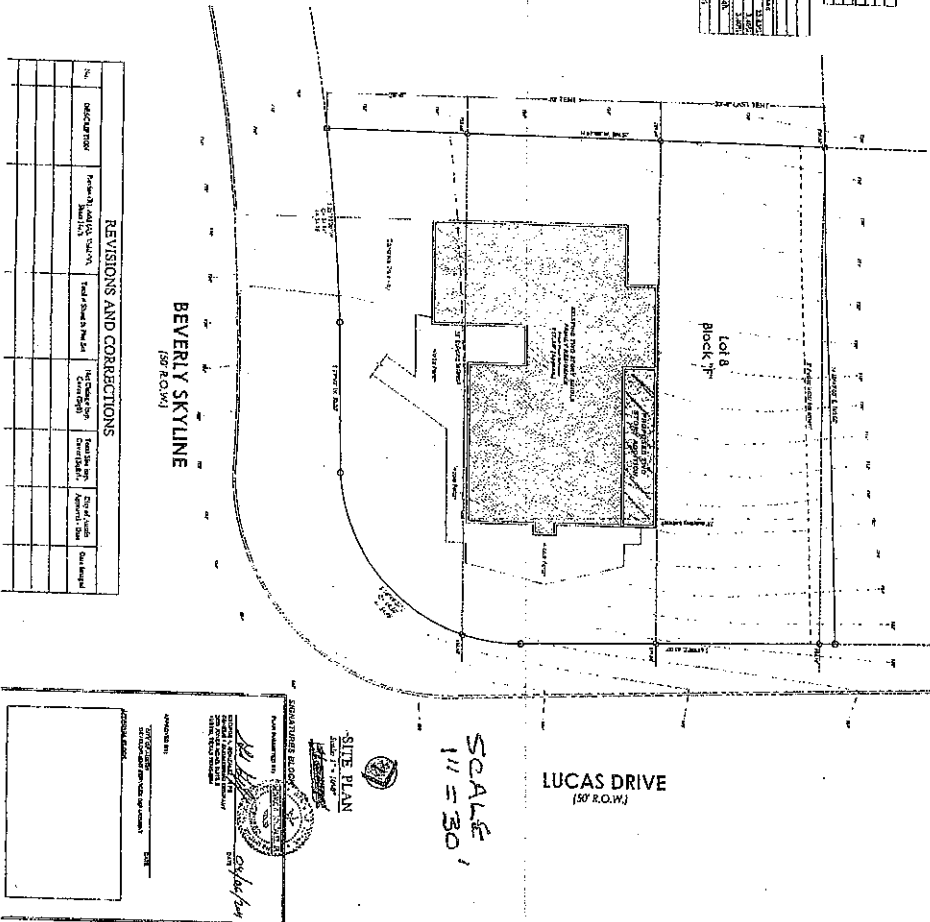
CIVIL ENGINEER:
GENESIS 1 ENGINEERING CO.
GEORGE A. GONZALEZ, JR., PE
2605 JONES ROAD, SUITE E
AUSTIN, TEXAS 78745
Ph: (512) 899 2346
Fax: (512) 899 2203

[illegible]

An aerial photograph of a wooded area. A circle marks a specific location in the upper-middle part of the image. A line extends from this circle towards the bottom-left corner, where it points to the text 'PROJECT LOCATION'. The terrain is covered with dense trees and some cleared areas. A road or path is visible in the lower-right quadrant. The text 'SITE LOCATION MAP' is printed vertically along the right edge of the photograph.

5106 BEVERLY SKYLINE
AUSTIN, TEXAS 78731

SHEET INDEX	
Description	Page
COVER SHEET AND SITE PLAN	CE 1 OF 8
EXISTING FLOOR PLANS	CE 2 OF 8
DEMOLITION-TEMP SHORING PLAN	CE 3 OF 8
PROPOSED FLOOR PLANS	CE 4 OF 8
ADDITION FOUNDATION PLAN AND DETAILS	CE 5 OF 8
FRAMING PLAN FOR ADDITION	CE 6 OF 8
FRAMING PLAN FOR CEILING MODIFICATIONS	CE 7 OF 8
REAR BUILDING ELEVATION	CE 8 OF 8



LUCAS DRIVE
(50' R.O.W.)

SCALE
1" = 30'

VERSION 2.10

CITY OF AUSTIN
APPROVED FOR PERMIT
Graig Guemsey
Planning and Development Review Department
Date 4/18/11
By [Signature]
The granting of a permit for, or approval of, these plans and specifications shall not be construed to be a permit for or an approval of any violation of any of the provisions of the current adopted building code or any other ordinance of the City of Austin.

CITY OF AUSTIN

APPROVED FOR PERMIT

Gregg Brynnarson
Executive Director

Biy

—

7

7

7

1

Keywords:

De

5

1

17

1.

12

© 1996, 1997, 1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677,

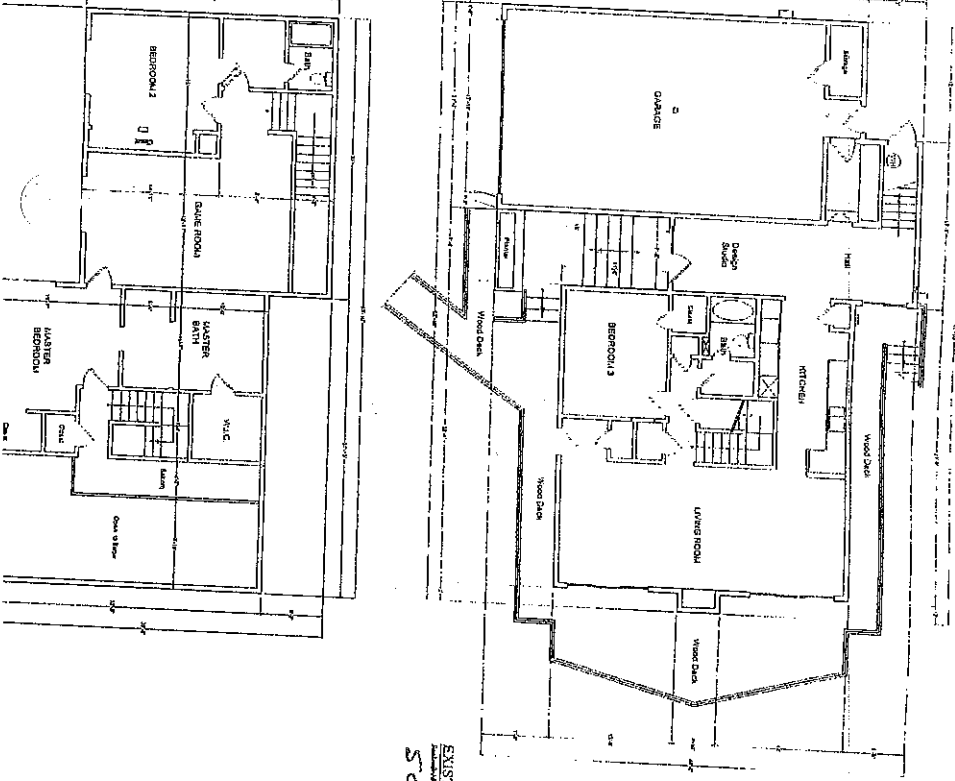
Genetic Engineering Corp
T.A.P.E. - Regulated Firm #7-2653
2605 Sunset Road, Suite E, Austin, TX 78704
(512) 899-2246 Office
(512) 899-2203 Fax
caguard@geneticengineering.com

**PROPOSED NEW ADDITION
EXISTING FAMILY RESIDENCE**

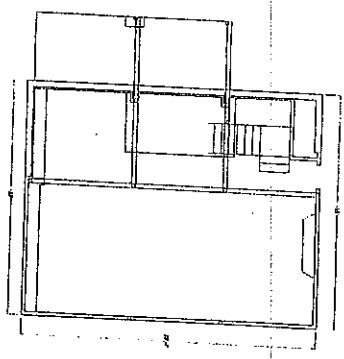
7-10-172 200 1000	1000 CE 1 OF 1
-------------------------	----------------------

D1/12

Original



EXISTING LOWER LEVEL PLAN
SCALE 1/8" = 1'



BASEMENT
Scale 1/8" = 1'

REVIEWED FOR ZONING ONLY

WJH 4/8/11

VERSION 2.10

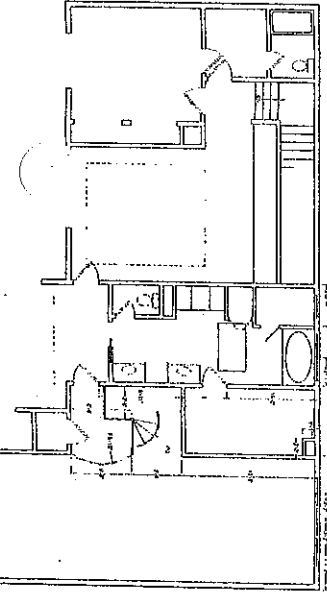
G/E

Grade 1 Building, 10000 N. 10th Ave., Suite 100, Aurora, CO 80010
Tel: 303.440.1111 Fax: 303.440.1112
www.greeneengineering.com

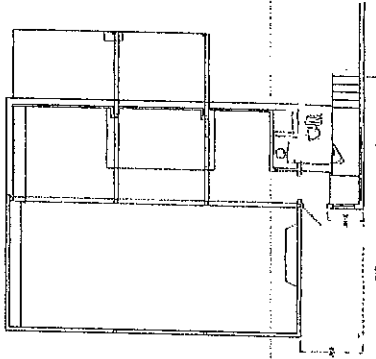
PROPOSED NEW ADDITION TO
EXISTING FAMILY RESIDENCE
KERRY & MARLEEN WALKER
100 REVERLY PARKWAY
AURORA, COLORADO 80010

B1/13

Original



PROPOSED LOWER LEVEL PLAN
SCALE 1/16" = 1'



PROPOSED BASEMENT
SCALE 1/16" = 1'



REVIEWED FOR ZONING ONLY

WMA 4/8/11

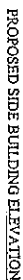
VERSION 2.10	
No.	Revised/Notes
1	Initial

G/E
 Canada's Engineering Company
 3065 Highway 10 West, Suite 100
 Mississauga, Ontario L4W 1M4
 (905) 896-2424
 info@canadascanada.com

PROPOSED NEW ADDITION TO
 EXISTING FAMILY RESIDENCE
 KIRBY & MARSH WALKS
 3108 BENTLEY AVENUE
 MISSISSAUGA, ONT. L4W 1M4

ALL-10-172

Original



4/8/11



VERSION 2.10

G/H

Genetics I Engineering Company
 133 P.E. & Engineering Plaza #F-2063
 2605 Peach Road, Seale, E. Austin, TX 78747
 (512) 899-2745 Office
 (512) 899-2303 Fax
 Eng to met @ 8:00 AM Sat. (eng to met @ 8:00 AM Sat.)

**PROPOSED NEW ADDITION TO
EXISTING FAMILY RESIDENCE
KURBY & MAUREEN WALKER**

5105 DEVELLEY STREET
AUSTIN TEXAS 78741

AEJ-10-172

23 Oct 2011

OF 8

RESIDENTIAL PERMIT APPLICATION "A"

Building Permit No. _____
 Plat No. _____ Date _____
 Reviewer John R. [Signature]

PRIMARY PROJECT DATA

REVISED

Address 5106 Beverly Skyline 78731 Tax Parcel No. 0131030701
 Lot 8 Block F Subdivision BEVERLY HILLS Section 2 Phase _____
 If in a Planned Unit Development, provide Name and Case No. _____
 (attach final approved copies of subdivision and site plan)

If this site is not a legally subdivided lot, you must contact the Development Assistance Center for a Land Status Determination.

Description of Work

☐ New Residence
☐ Duplex
☐ Garage attached ☐ detached
☐ Carport attached ☐ detached
☐ Pool

☒ Remodel (specify) add basement 1/2 Bath for convenience to yard as part of other remodel underway.
☐ Addition (specify) _____
☐ Other (specify) _____

Zoning (e.g. SF-1, SF-2) SF-3

Height of Principal building NA ft. # of floors 2 Height of Other structure(s) NA ft. # of floors NA

Does this site currently have water and wastewater availability? ☒ Yes ☐ No. If no, please contact the Austin Water Utility at 512-972-0000 to apply for water and/or wastewater tap application, or a service extension request.
 Does this site have a septic system? ☐ Yes ☒ No. If yes, for all sites requiring a septic field you must obtain an approved septic permit prior to a zoning review.

Does this site have a Board of Adjustment ruling? ☐ Yes ☒ No If yes, attach the B.O.A. documentation

Will this development require a cut and fill in excess of 4 feet? ☐ Yes ☒ No

Does this site front a paved street? ☒ Yes ☐ No A paved alley? ☐ Yes ☒ No

Is this property within the Residential Design and Compatibility Standards Ordinance Boundary Area? ☒ Yes ☐ No

VALUATIONS FOR REMODELS ONLY

Building \$ 1806
 Electrical \$ 225
 Mechanical \$ _____
 Plumbing \$ 663
 Driveway/ Sidewalk \$ _____
 TOTAL \$ 2724
 (labor and materials)

VALUATIONS FOR NEW CONSTRUCTION OR ADDITIONS ONLY

Lot Size NA sq.ft.
 Job Valuation - Principal Building \$ _____
 (Labor and materials)
 Job Valuation - Other Structure(s) \$ _____
 (Labor and materials)

TOTAL JOB VALUATION

(sum of remodels and additions)
 \$ _____
 (Labor and materials)

PERMIT FEES

(For office use only)

	NEW/ADDITIONS	REMODELS
Building	\$ _____	\$ <u>41</u>
Electrical	\$ _____	\$ <u>23</u>
Mechanical	\$ _____	\$ _____
Plumbing	\$ _____	\$ <u>29</u>
Driveway & Sidewalk	\$ _____	\$ _____
TOTAL	\$ _____	\$ _____

OWNER / BUILDER INFORMATION

OWNER Name Kirby Walker Telephone (h) 512-331-1250
 (w) _____
 BUILDER Company Name Probuild Enterprises LLC Telephone 512-468-8668
 Contact/Applicant's Name Porter Baker Pager _____
 FAX _____
 DRIVEWAY/ SIDEWALK Contractor NA Telephone NA
 CERTIFICATE OF OCCUPANCY Name Kirby Walker Telephone _____
 Address 5106 Beverly Skyline City _____ ST TX ZIP 78731

I would like to be notified when your application is approved, please select the method:
☐ phone ☐ e-mail: _____

You may check the status of this application at www.ci.austin.tx.us/development/pierivr.htm

D1/16

CITY OF AUSTIN

RESIDENTIAL PERMIT APPLICATION

I understand that in accordance with Sections 25-1-411 and 25-11-66 of the Land Development Code (LDC), non-compliance with the LDC may be cause for the Building Official to suspend or revoke a permit and/or license. I understand that I am responsible for complying with any subdivision notes, deed restrictions, restrictive covenants and/or zoning conditional overlays prohibiting certain uses and/or requiring certain development restrictions (i.e., height, access, screening, etc.) on this property. If a conflict should result with any of these restrictions, it will be my responsibility to resolve it. I understand that, if requested, I must provide copies of all subdivision plat notes, deed restrictions, restrictive covenants, and/or zoning conditional overlay information that may apply to this property.

I acknowledge that this project qualifies for the Site Plan Exemption as listed in Section 25-5-2 of the LDC.

I understand that nothing may be built upon or over an easement. I further understand that no portion of any roof structure may overhang in any public utility or drainage easement.

I acknowledge that customer will bear the expense of any necessary relocation of existing utilities to clear this driveway location and/or the cost to repair any damage to existing utilities caused during construction.

I also understand that if there are any trees greater than 19 inches in diameter located on the property and immediately adjacent to the proposed construction, I am to schedule a Tree Ordinance review by contacting (512) 974-1876 and receive approval to proceed.

I agree that this application will expire on the 181st day after the date that the application is filed if the application is not approved and an extension is not granted. If the application expires, a new submittal will be required.

APPLICANT'S SIGNATURE Porter Baker DATE 27 Apr 11

BUILDER'S STATE REGISTRATION NUMBER (required for all new construction) _____

Section Notes/Additional Comments (for office use only):	
PERMIT HISTORY:	
Permit # 2000-08803 TIP (BPP-00148563) - 2 story	
firm res w/att, CP-roof tie-ramp-balconies (4-2-1975)	
Permit # 1980-018445 BP-Remodel & 2nd story addn	
bedrm, study & bath (9-12-1980)	
Permit # 2001-013579 BP-Convert carport to garage	
& enclose porch, add windows in garage, repair	
deck (4-2-2001)	

Office Address _____
Official's Signature _____ Date _____

BUILDING COVERAGE

area of a lot covered by buildings or roofed areas, but not including (i) incidental projecting eaves and similar features, or (ii) ground level paving, landscaping, or open recreational facilities.

- a. 1st floor conditioned area
- b. 2nd floor conditioned area
- c. 3rd floor conditioned area
- d. Basement
- e. Garage / Carport
 - ☒ attached
 - ☐ detached
- f. Wood decks [must be counted at 100%]
- g. Breezeways
- h. Covered patios
- i. Covered porches
- j. Balconies
- k. Swimming pool(s) [pool surface area(s)]
- l. Other building or covered area(s)
Specify _____

Existing		New / Addition	
1268	sq.ft.	215	sq.ft.
1374	sq.ft.	117	sq.ft.
	sq.ft.		sq.ft.
713	sq.ft.	72	sq.ft.
788	sq.ft.		sq.ft.
	sq.ft.		sq.ft.
	sq.ft.		sq.ft.
817	sq.ft.		sq.ft.
	sq.ft.		sq.ft.
	sq.ft.		sq.ft.
24	sq.ft.		sq.ft.
	sq.ft.		sq.ft.
	sq.ft.		sq.ft.
	sq.ft.		sq.ft.

TOTAL BUILDING AREA (add a. through l.)

2109 sq.ft.
4984 sq.ft.
215 sq.ft.
404 sq.ft.

TOTAL BUILDING COVERAGE ON LOT (subtract, if applicable, b., c., d., k. and f. if uncovered)

2324 sq.ft.
23 % of lot

IMPERVIOUS COVERAGE

side building cover and sidewalks, driveways, uncovered patios, decks, air conditioning equipment pad, and other improvements in existing impervious cover. Roof overhangs which do not exceed two feet or which are used for solar screening are not included in impervious coverage or impervious coverage. All water must drain away from buildings on this site and buildings on adjacent lots.

- a. Total building coverage on lot (see above)
- b. Driveway area on private property
- c. Sidewalk / walkways on private property
- d. Uncovered patios
- e. Uncovered wood decks [may be counted at 50%]
- f. Air conditioner pads
- g. Concrete decks
- h. Other (specify) CONCRETE DRIVEWAYS

2324	sq.ft.
506	sq.ft.
16	sq.ft.
50	sq.ft.
217 x .5 = 409	sq.ft.
30	sq.ft.
	sq.ft.
68	sq.ft.

TOTAL IMPERVIOUS COVERAGE (add a. through h.)

3403 sq.ft.
33 % of lot

REVISED
UPDATED APPLICATIONce Address 5106 Beverly Skylinelicant's Signature Porter BakerDate 3 MAY 2011K **FLOOR AREA AND FLOOR AREA RATIO** as defined in the Austin Zoning Code. **D1/18****1st Floor Gross Area**1st floor area (excluding covered or uncovered finished ground-floor porches)1st floor area with ceiling height over 15 feet.**TOTAL (add a and b above)****Existing****New / Addition**1268 sq.ft.215 sq.ft.1268 sq.ft.215 sq.ft.**2nd Floor Gross Area** See note ¹ below2nd floor area (including all areas covered by a roof i.e. porches, breezeways, mezzanine or loft)2nd floor area with ceiling height > 15 feet.**TOTAL (add d and e above)**1374 sq.ft.117 sq.ft.1374 sq.ft.117 sq.ft.**3rd Floor Gross Area** See note ¹ below3rd floor area (including all areas covered by a roof i.e. porches, breezeways, mezzanine or loft).3rd floor area with ceiling height > 15 feet**TOTAL (add g and h above)**

sq.ft.

sq.ft.

sq.ft.

Basement Gross Area

Floor area outside footprint of first floor or greater than 3 feet above grade at the average elevation at the intersections of the minimum front yard setback line and side property lines.

713 sq.ft.72 sq.ft.**Garage**attached (subtract 200 square feet if used to meet the minimum parking requirement) $788 - 200 =$

detached (subtract 450 square feet if more than 10 feet from principal structure)

588 sq.ft.0 sq.ft.

sq.ft.

sq.ft.

Carport (open on two or more sides without habitable space above it subtract 450 square feet)0 sq.ft.0 sq.ft.**I. TOTAL**3943 sq.ft.404 sq.ft.**TOTAL GROSS FLOOR AREA** (add existing and new from VII above)4347 sq. ft.**GROSS AREA OF LOT**10240 sq. ft.**FLOOR AREA RATIO** (gross floor area / gross area of lot) 42.4 sq. ft.

and or third floor meets all of the following criteria it is considered to be attic space and is not calculated as part of the overall Gross Floor Area of the structure.

It is fully contained within the roof structure and the roof has a slope of 3 to 12 or greater

It only has one floor within the roof structure

It does not extend beyond the foot print of the floors below

It is the highest habitable portion of the building; and

percent or more of the area has a ceiling height of seven feet or less.



Austin Water Utility
Water & Wastewater Service Plan Verification
(W&WW SPV)

PLEASE READ IMPORTANT INSTRUCTIONS ON PAGE 2

D1/19

(Please Print or Type)

Customer Name: PORTER BAKER Phone: 468-8668 Alternate Phone: 292-0640

Service Address: 5106 Beverly Skyline

Block: _____ Subdivision/Land Status: _____ Tax Parcel ID No.: _____

Existing Use: vacant single-family res. duplex garage apartment other _____

Proposed Use: vacant single-family res. duplex garage apartment other _____

Number of existing bathrooms: 3 Number of proposed bathrooms: 4 3.5 to 4

Installation of a pressurized auxiliary water system (i.e. rainwater harvesting, well water, lake/river water, etc.) Yes _____ No ☒

City of Austin Office Use

Service Main size: 6" Service stub size: 3/4" Service stub upgrade required? NO New stub size: _____

Meter number: 103038 Existing Meter size: 5/8" Upgrade required? Yes New size 3/4"

Service: Septic System/On-Site Sewage Facility (OSSF) _____ or WW Collection System ☒ WW Main size: 8"

If a pressurized auxiliary water system is or will be installed, please contact the Utility's Special Services Division (SSD) at 972-1060, 3907 South Industrial Blvd., Suite 100 for consultation and approval.

Approved by SSD (Signature & Print name) _____ Date _____ Phone _____

Approved: ☐ Yes (see attached approved documents) ☐ No

If a site has an OSSF, please contact Utility Development Services (UDS) at 972-0210 or 972-0211, Waller Center, 625 E. 10th Street, Suite 715 for consultation and approval.

WSPV Completed by (Signature & Print name) _____ Date _____ Phone _____

(if applicable) Approved by UDS (Signature & Print name) _____ Date 4/27/11 Phone 974-8734

Representative _____ Date _____ Phone _____

Approved: ☐ Yes (see attached approved documents) ☐ No

For residential plan review, this original stamped "approval" must be submitted with the stamped "original" floor plan.

Verification expires 180 days after date of Submission

PLEASE READ IMPORTANT INSTRUCTIONS ON PAGE 2

RECEIVED
APR 27 2011

WATER SERVICE PERMIT

Austin, Texas

E No 6299

416

3606

D1/20

Received of 5201-3608

Date 10-10-55

Address Lucas Dr. Lots # 36-37, BLK-B (Beverly Hills, Sec. 2)

Amount

\$

Plumber (2" C.I. stub) See E#6298

Size of Tap 2"

Date of Connection
 Size of Tap Made 2"
 Size Service Made 1"
 Size Main Tapped 6"
 From Front Prop. Line to Curb Cock
 From Prop. Line to Curb Cock
 Location of Meter
 Type of Box Lock
 Depth of Main in St. 2.5'
 Depth of Service Line 11'
 From Curb Cock to Tap on Main 7'
 Checked by Engr. Dept 2-20-56

No.	Fittings	Size
1	6" x 1 1/2" Tee	
	Curb Cock	
	Elbow	
2	St. Elbow 2 1/2" x 1"	
	Bushing	
7	Reducer	
	Pipe 2" C.I. pipe	
	Lead Comp	
	Nipples	
1	Union Sleeve 2" C.I.	
2	Plug Cap to Irons	
1	Tee 2" C.I.	
2	Stop	
2	Box	
2	Lid	
	Valves	
	Job No. 12,322,1-2986	
	Req. No. Contract	

Brewster

INDEXED

See E#6298



Tree Ordinance Review Application

Planning and Development Review Department
One Texas Center, 505 Barton Springs Road, 4th floor
Phone: (512) 974-1876 Fax: (512) 974-3010
Email: Michael.Embese@ci.austin.tx.us Website: www.ci.austin.tx.us/trees

ROW I.D. 10580448
Mapco Grid 5244

D1/21

Application request* (specify all that apply):

- ☐ Tree removal
- ☒ Development exceeding allowable standards for encroachment in the tree's critical root zone;
- ☐ Removal of more than 30% of a tree's crown.

* Refer to Land Development Code 25-8 (B)(1) and Environmental Criteria Manual (Section 3, App. F). Applicant understands that all impacts may threaten the health of the tree and that approval of this application does not guarantee favorable tree results.

Address and zip code of property: 5106 Beverly Skyline

Name of owner or authorized agent: Kirby Walker

Building permit number (if applicable): 2011029353

Telephone #: 468-8668 Fax #: _____ E-mail: _____

Type of Tree: unknown Tree location on lot: _____

Trunk size (in inches) at 4 1/2 feet above ground: circumference (around) _____ or diameter (across) _____

General tree condition: ☒ Good / ☐ Fair / ☐ Poor / ☐ Dead all less than 19"

Reason for request: ARPA canopy view

show trees
Porter Baker 8 MAY 11

Owner/ Authorized Agent Signature _____ Date _____

- Proposed development projects should include an aerial drawing that includes the location of the tree and planned improvements (e.g. structure, driveway, utility and irrigation lines).
- This application is reviewed for tree impacts only; not for zoning or other applicable regulations. Payment (\$25 check to the City of Austin) must be made prior to City personnel completing this application. No fee is required for dead or diseased trees.

Application Determination -- To be completed by City Arborist Program Personnel

- ☒ Approved ☐ *Approved With Conditions ☐ Denied ☐ Statutory Denial (more information required)

Comments NO DEVELOPMENT PLANS SUPPLIED NO TREES LARGER THAN 19-INCHES
IN DIAMETER.

☐ Heritage Tree(s) ☐ A heritage tree variance is required: ☐ Administrative / ☐ Land Use Commission

Conditions of Approval: ☐ None or ☐ As described within Arborist Comments (see above); and

- ☐ Applicant agrees to plant _____ caliper inches of container grown City of Austin Appendix F trees on the lot prior to obtaining a final inspection (if applicable). Trees are to have a minimum 2-inch trunk diameter. Examples include Oaks, Cedar Elm, Bald Cypress, Dessert Willow, Mountain Laurel, Texas Persimmon, Mexican Plum, etc.
- ☐ Prior to development, applicant agrees to supply an 8-inch root zone mulch layer and maintain tree protection fencing (chain-link, five-foot in height) throughout the project duration.
- ☐ Provide a receipt for remedial tree care and / or any required pruning as performed by a certified arborist.
- ☐ No impacts are permitted within the tree 1/2 Critical Root Zone (ECM 3.52) including trenching for utilities.

Applicant Signature _____

Date _____

City Arborist Signature _____

Date 10 MAY 11

Post this document on site while any proposed work is in progress.
Conditions for approval of this application must be met within 1 year of the effective date.

Jim Gohl or Michael Embese 4th Floor

01/22

Revised Copy

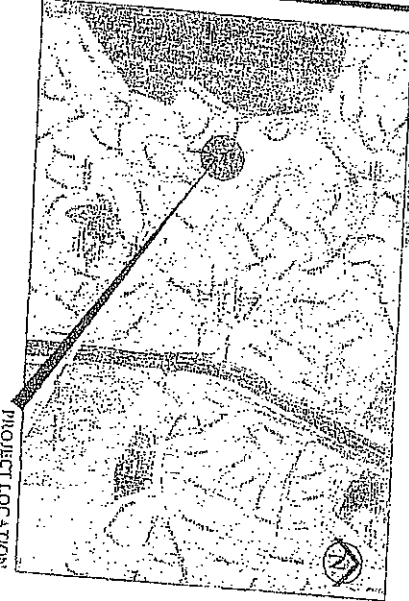
BEVERLY
KIRBY & MAUREEN WALKER
5106 BEVERLY SKYLINE
AUSTIN, TEXAS 78731
Ph: 512.740.2334

CIVIL ENGINEER
GEORGE A. GONZALEZ, P.E.
3005 JONES ROAD, SUITE E
AUSTIN, TEXAS 78735
Ph: (512) 899-2346
Fax: (512) 899-2305

PROPOSED NEW ADDITION TO SINGLE FAMILY RESIDENCE

BUILDING COVERAGE			
Lot Area	12,500	Building Area	2,500
Lot Area	12,500	Building Area	2,500
Lot Area	12,500	Building Area	2,500
Lot Area	12,500	Building Area	2,500
Lot Area	12,500	Building Area	2,500

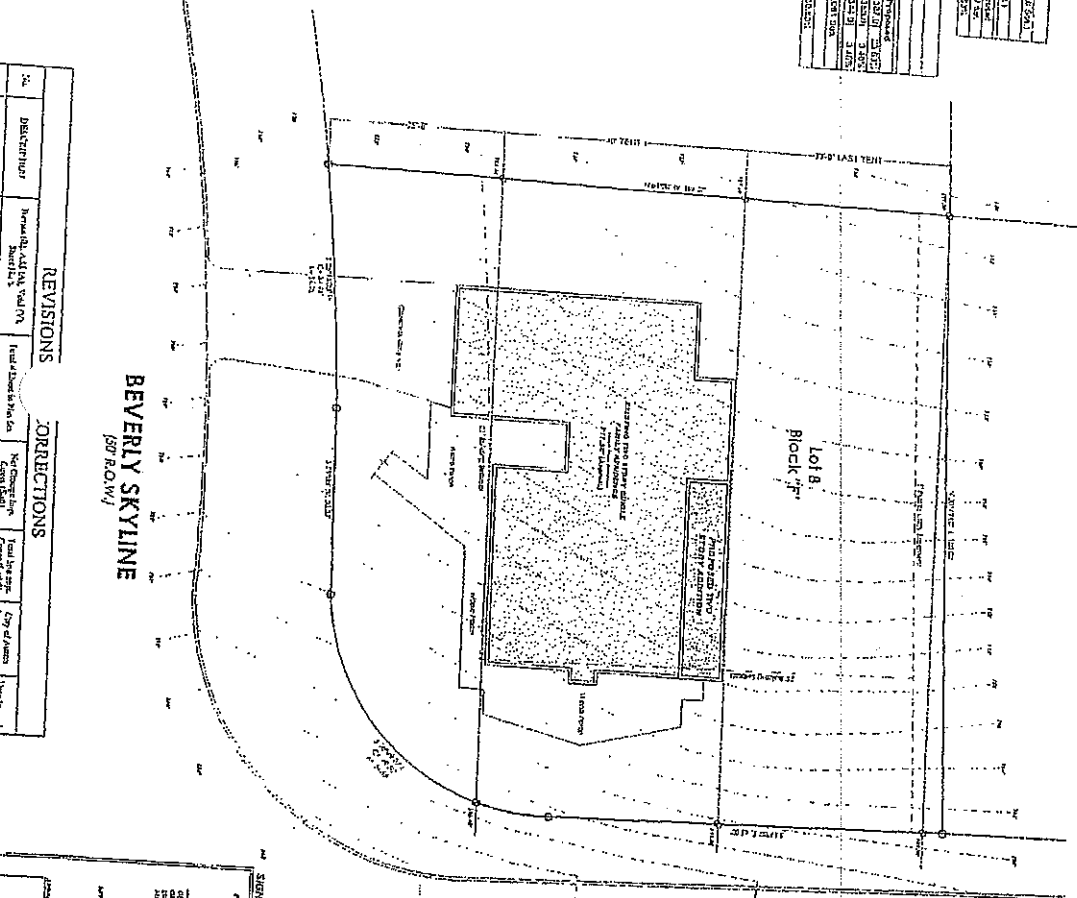
PERMANENT COVERAGE			
Lot Area	12,500	Building Area	2,500
Lot Area	12,500	Building Area	2,500
Lot Area	12,500	Building Area	2,500
Lot Area	12,500	Building Area	2,500
Lot Area	12,500	Building Area	2,500



5106 BEVERLY SKYLINE
AUSTIN, TEXAS 78731

SHEET INDEX

Description	Page
COVER SHEET AND SITE PLAN	CE 1 OF 8
EXISTING FLOOR PLANS	CE 2 OF 8
DEMOLITION-TEMP SHORING PLAN	CE 3 OF 8
PROPOSED FLOOR PLANS	CE 4 OF 8
ADDITION FOUNDATION PLAN AND DETAILS	CE 5 OF 8
FRAMING PLAN	CE 6 OF 8
FRAMING PLAN - CLING MODIFICATIONS	CE 7 OF 8
REAR BUILDING ELEVATION	CE 8 OF 8



REVISIONS			
No.	Description	Revised By	Checked By
1	Initial Design	George A. Gonzalez	George A. Gonzalez

SIGNATURES BLOCK

SITE PLAN

SCALE 1"=30'

DATE 01/22/22

PROJECT 5106 BEVERLY SKYLINE

VERSION 2.10

GEORGE A. GONZALEZ, P.E.

3005 JONES ROAD, SUITE E

AUSTIN, TEXAS 78735

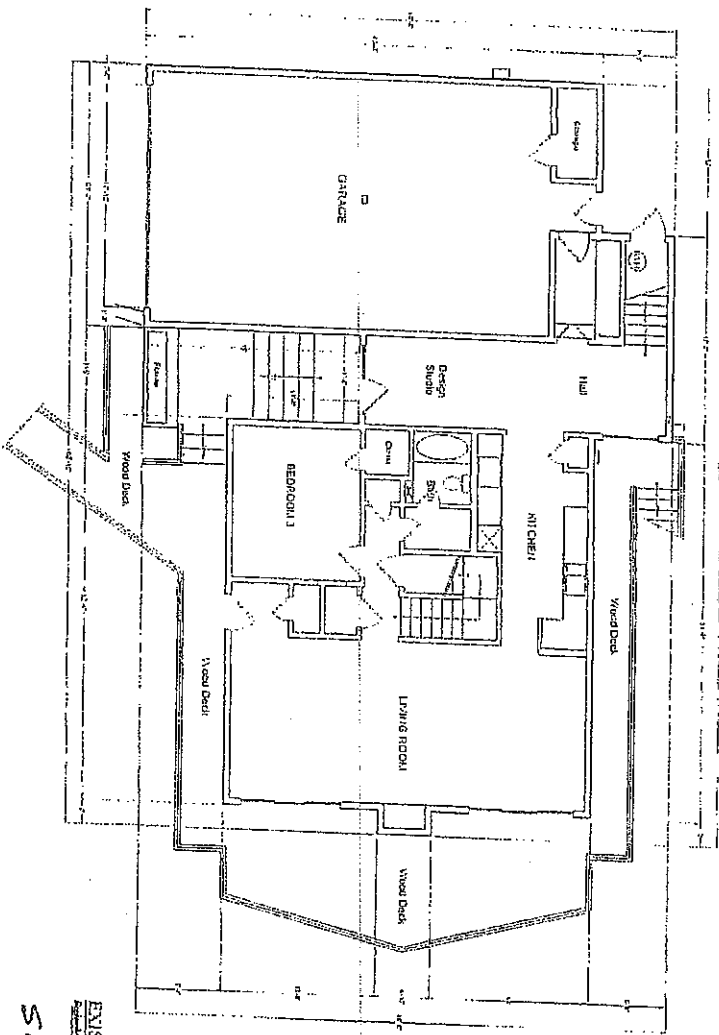
PH: (512) 899-2346

FAX: (512) 899-2305

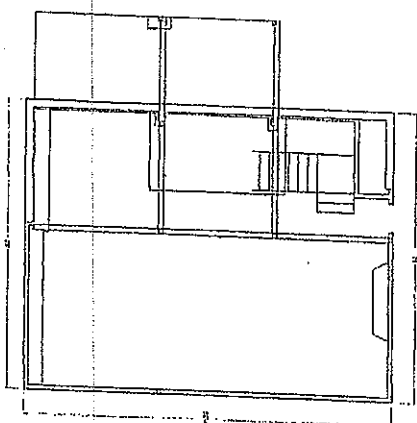
WWW.GONZALEZENGINEERING.COM

D1/23

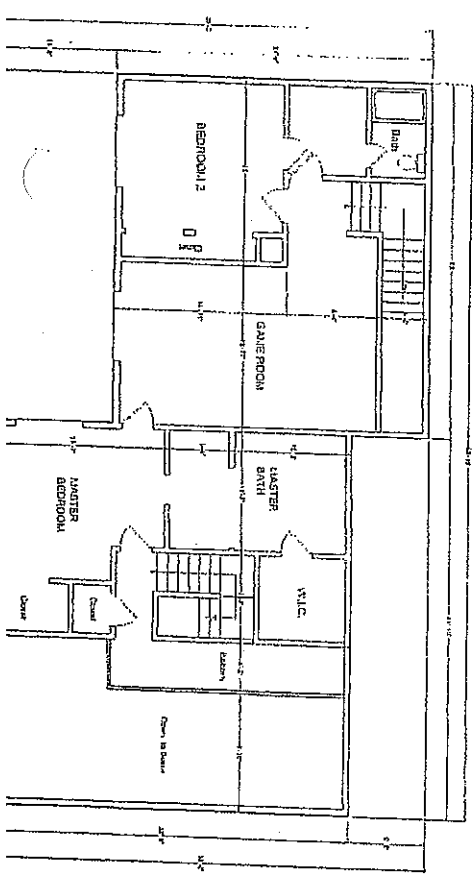
Revised Copy



EXISTING LOWER LEVEL PLAN
SCALE 1/16" = 1'



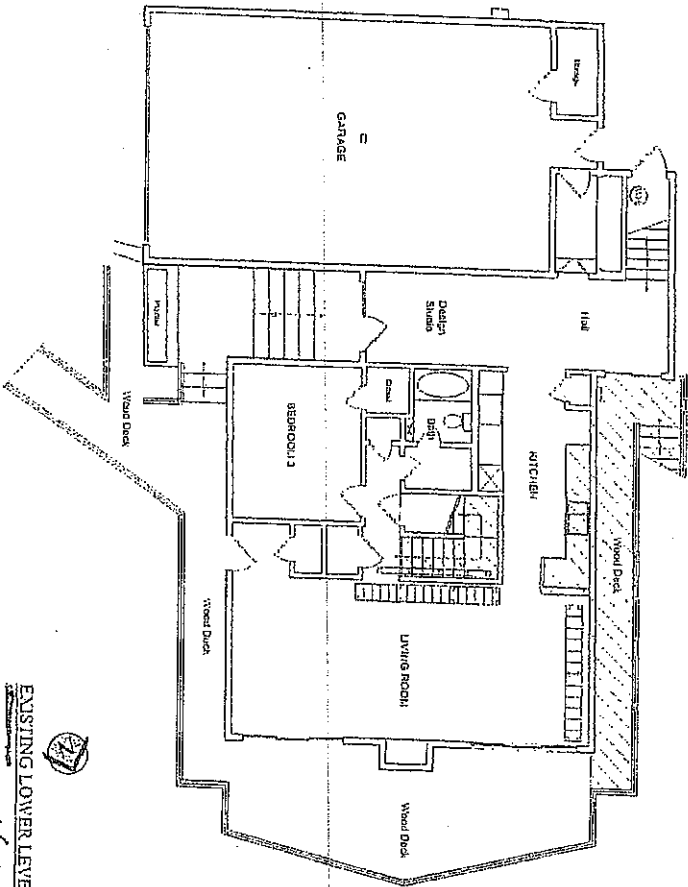
BASEMENT
SCALE 1/16" = 1'



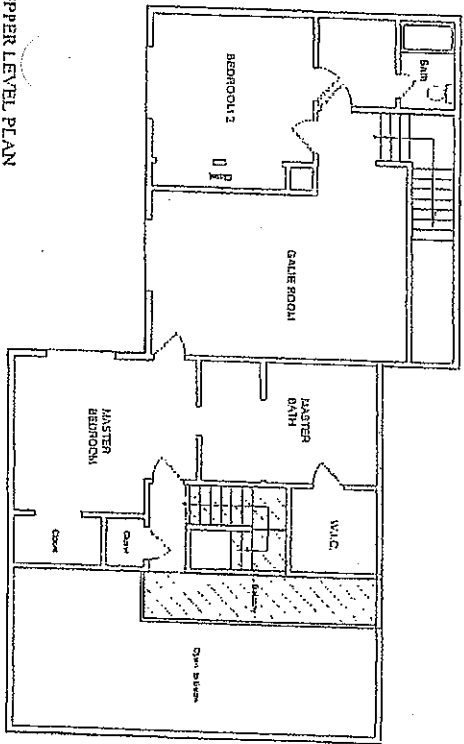
EXISTING UPPER LEVEL PLAN
SCALE 1/16" = 1'

DI/24

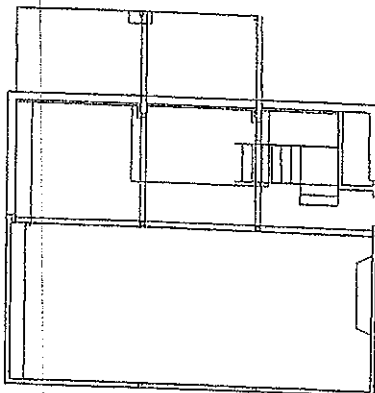
Revised Copy



EXISTING LOWER LEVEL PLAN
Scale 1/16" = 1'



EXISTING UPPER LEVEL PLAN



BASEMENT
Scale 1/16" = 1'

LEGEND:
--- DEMOLISH WALL OR SECTION
--- SHORING SYSTEM NO. 1
--- SHORING SYSTEM NO. 2

DEMOLITION NOTES:

1. Contractor shall physically segregate work areas from balance of structure.
2. Homeowner, design engineer, and contractor shall hold a pre-construction meeting prior to the start of construction.
3. Contractor shall maintain strict control and maintain secure work area during entire construction period.
4. Contractor shall verify all physical conditions and immediately report any discrepancies to the Owner's and the design engineer for resolution.
5. At the onset of the demolition phase of construction, contractor shall ensure removal of selected areas of existing drywall joints for verification of existing framing conditions and make necessary adjustments for proposed framing.
6. The design engineer, with concurrence from the owner, will direct the general contractor to the sequencing of the installation of the shoring system at different locations throughout the work area at different house levels.
7. The shoring system shall be installed in strict accordance to the manufacturer's instructions and guidelines and shall lock all safety mechanisms on a locked tank.
8. Once all shoring system components are in place, the general contractor shall proceed to remove the following items:
a. existing sheet rock drywall panels in all affected areas
b. wood trim, where affected by the construction
c. kitchen cabinets
d. plaster [lathes
e. wood flooring that needs to be removed to facility

TEMPORARY SHORING SYSTEM:

1. General Contractor shall utilize the following temporary shoring system:
Sailway Scolding and Shoring System
P879 US Highway 280 East
Aurora, Texas 76021
(817) 828-0042 Office
(817) 828-0077 Fax
www.sailway.com

2. General contractor shall contact Sailway for additional or approved plans for estimate of needed system.

3. General contractor, with the approval of the design engineer, may use other equivalent system.
4. After all temporary system components are delivered to the jobsite, the general contractor shall consult with the design engineer for exact installation location of the components and the design engineer will approve the final installation of the temp. shoring system.

System 1:

This system will consist of wood planks supported by screw jacks (6' can) placed at strategic locations at the existing subfloor (level of two house levels) to support additional upper ceiling.

System 2:

This system will consist of aluminum scaffolding system to a total ceiling height of the bottom of the cathedral ceiling at the existing main living room to support the cathedral ceiling of the living room.



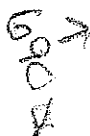
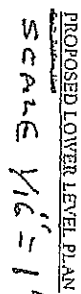
VERSION 2.10

No.	Revision/Change
1	

G/E
General & Engineering Company
1005 West Loop West, Suite 1000
Dallas, Texas 75240
(214) 750-2000
Fax: (214) 750-2001
Email: info@gecompany.com

KIRBY & MAIBACH-WALSH
1005 BOWLING GREEN
AUSTIN, TEXAS 78703
AU-10-172

Revised Copy



PROPOSED BASEMENT

Chenksis Engineering Company
130 E. Riverside Plaza #2045
2405 Jones Blvd, Suite E, Austin, TX 78745
(512) 892-2346 (MO)
(512) 892-2100 Fax
chenksis@chenksisengineering.com

PROPOSED NEW ADDITION TO
EXISTING FAMILY RESIDENCE

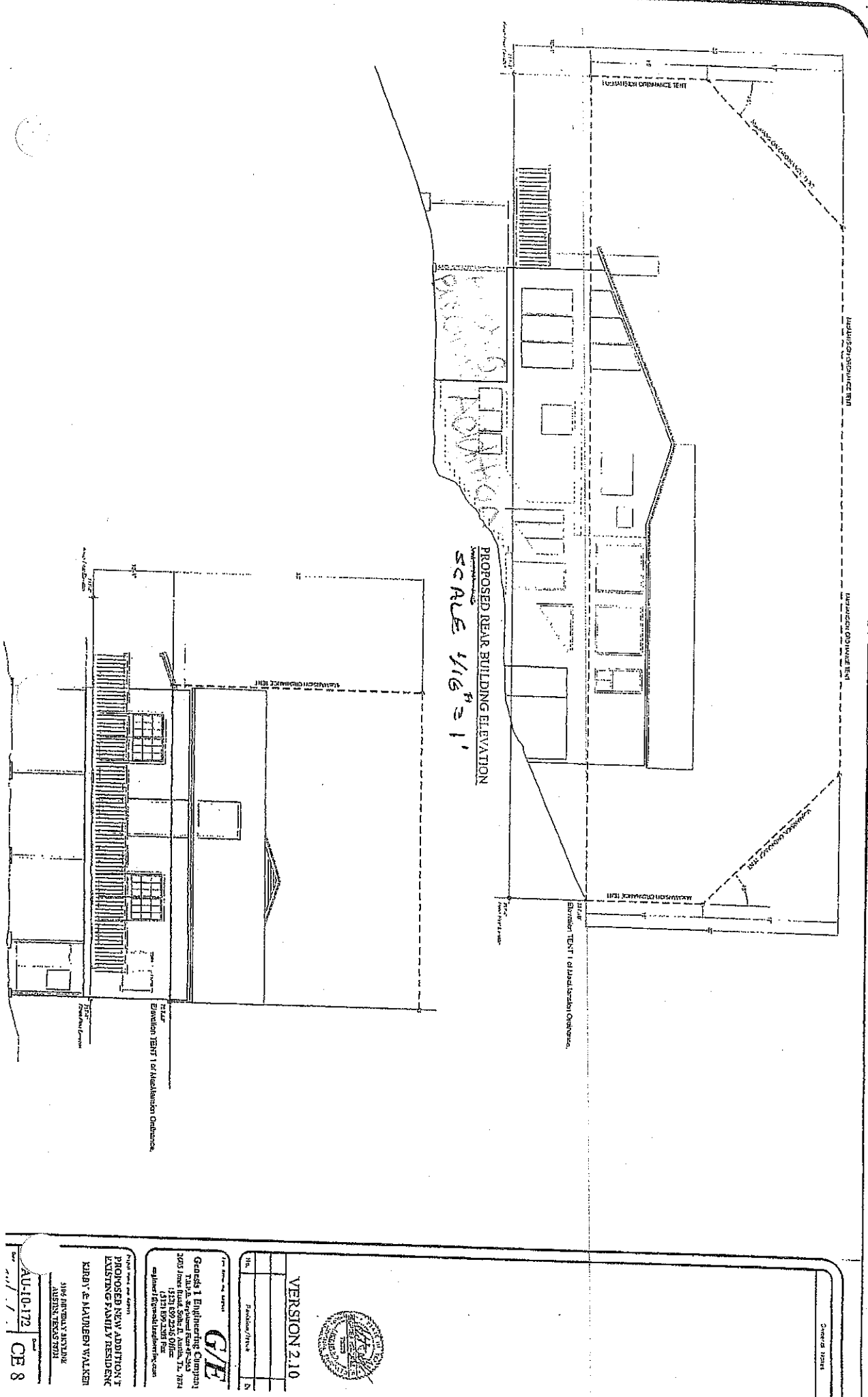
NICKBY & MAUREEN WALKER

3106 INVERLYN ST
ALBANY, NY 12245 76731

AU-10-172

ಮ

Pelissier Cup



VERSION 2.10



Greco's 1 Engineering Company
T.L.P. & Associates, Inc. #1-2543
2605 Jones Road, Suite D, Austin, TX 78754
1-512-699-2246 Office
1-512-699-2298 Fax
engineer@greco1engineering.com

G/H

PROPOSED NEW ADDITION TO
EXISTING FAMILY RESIDENCE
KIRBY & MAUREEN WALKEN

5106 PREVELLY SKYLINE
AUSTIN, TEXAS 78731

AU-10-172

CHE 8

WESTVIEW DR

DV/27

RIDGEMOOR DR

UNKNOWN

5103

5103

5100

5102

5106

5101

5007

5005

5002

5004

5001

5007

3606

08

5007

5005

5002

5004

5001

5007

3606

08

5007

5005

5002

5004

5001

5007

3606

08



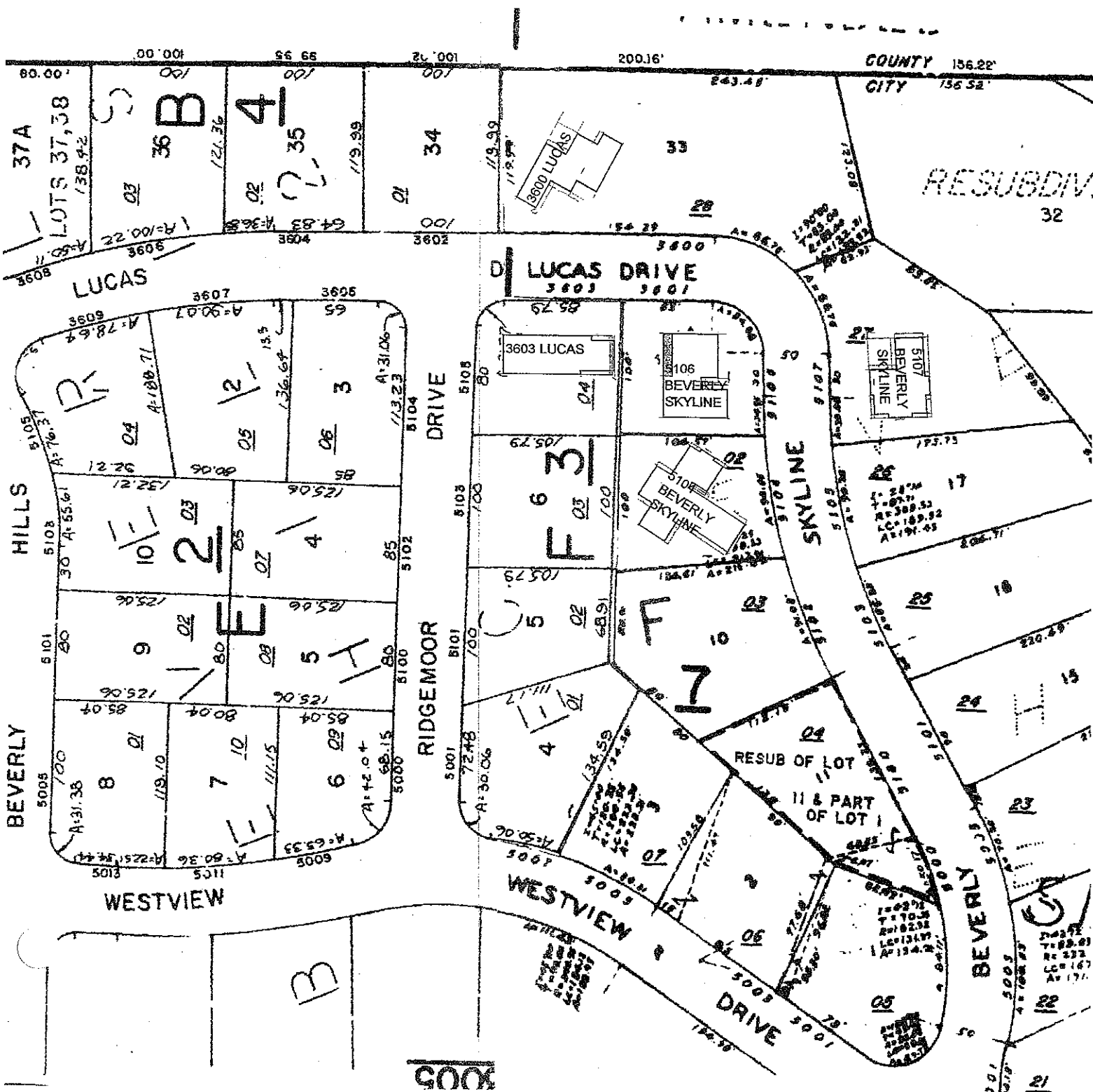
01/28

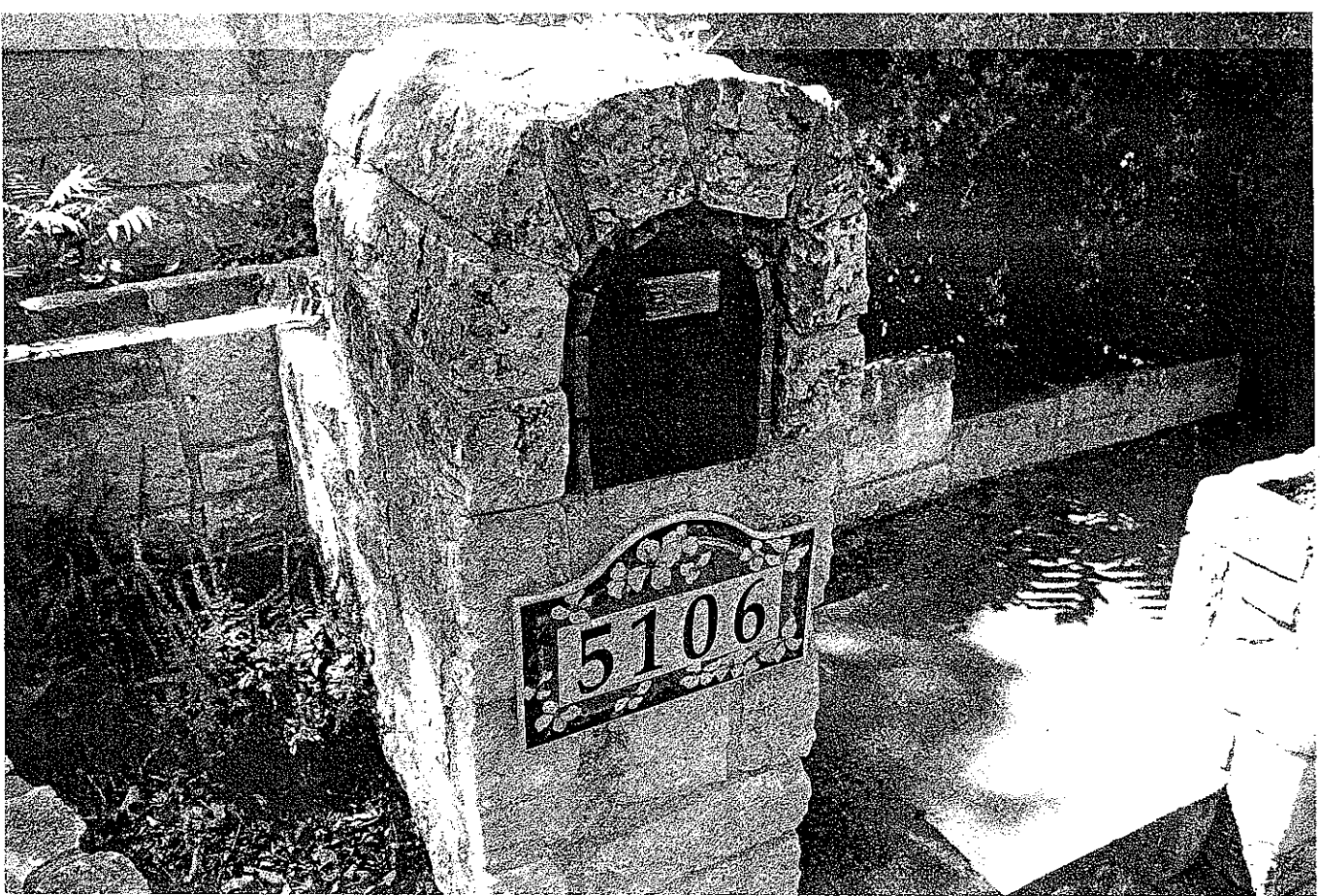
04/29



©2011 Google

SCALE 1" = 100 FT





D/
31

ABOVE: 5106 Beverly Skyline – the subject property
BELOW: Street view of 5106 Beverly Skyline at the front entrance.





DY
32

ABOVE: 5106 Beverly Skyline from the street on the side of the house
BELOW: 5106 – the only view from the street of the side where the addition will occur.

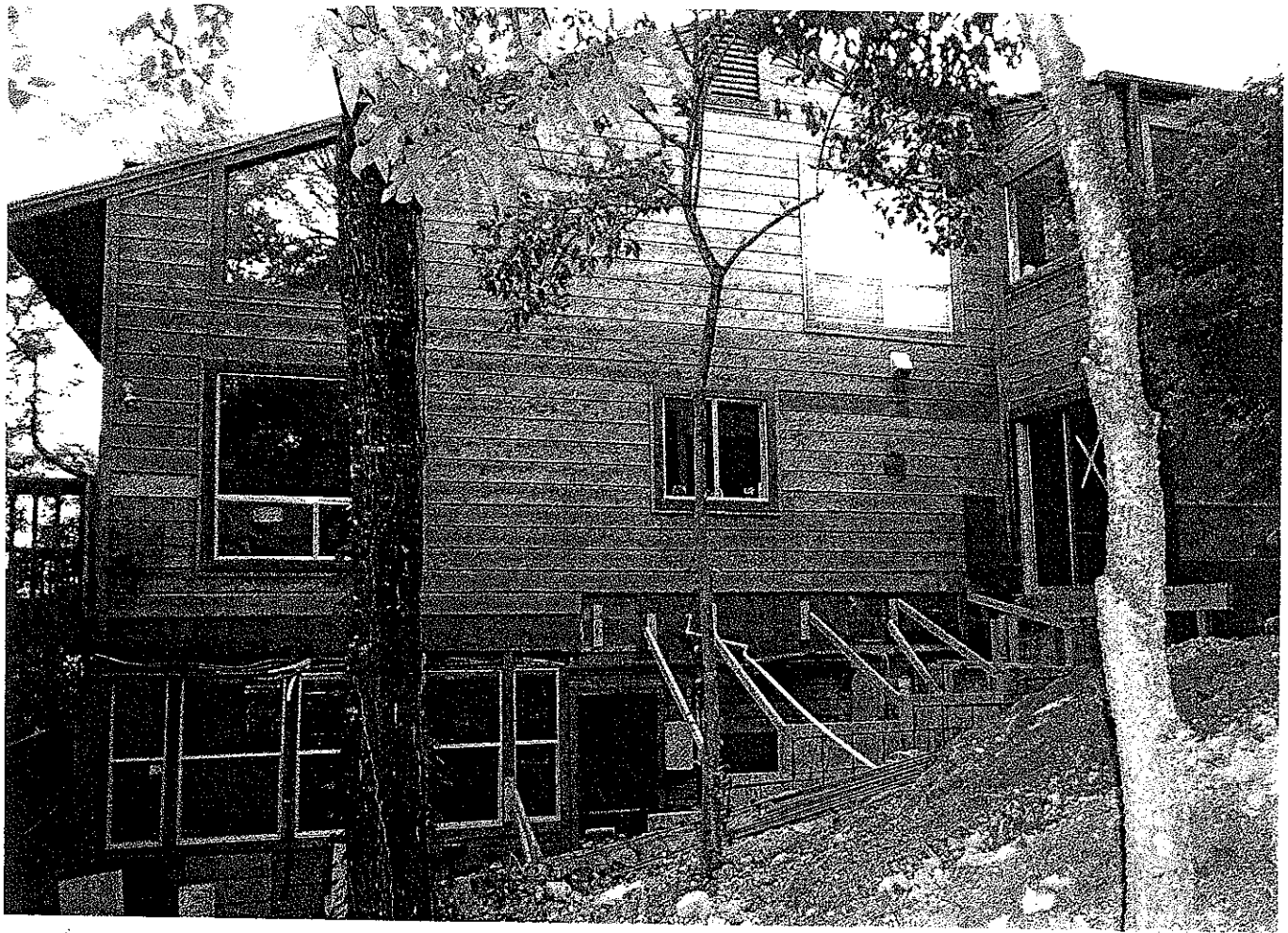




DV
/23

ABOVE: 5106 Beverly Skyline from the street on the side of the house
BELOW: 5106 – the only view from the street of the side where the addition will occur.

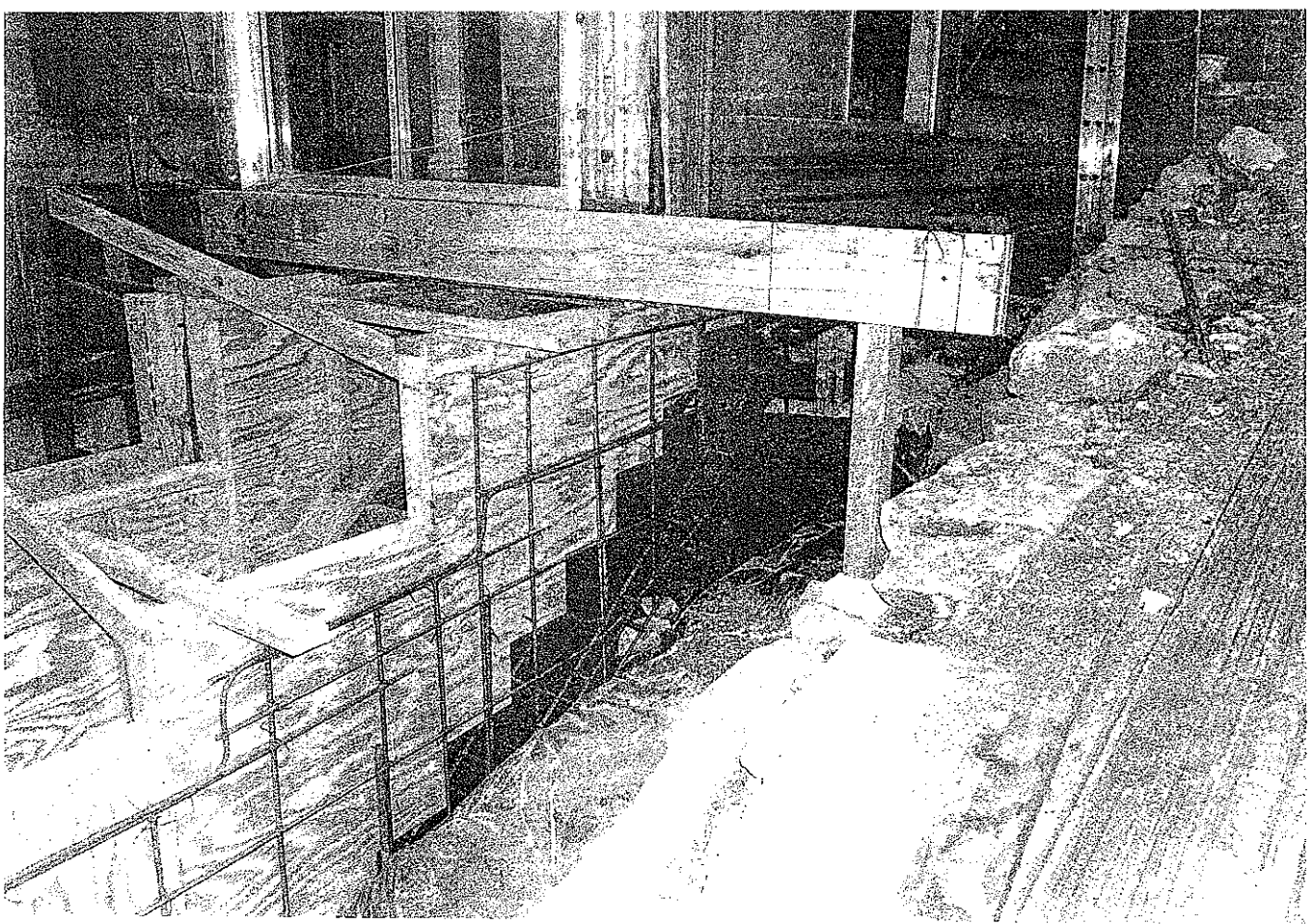




BASEMENT

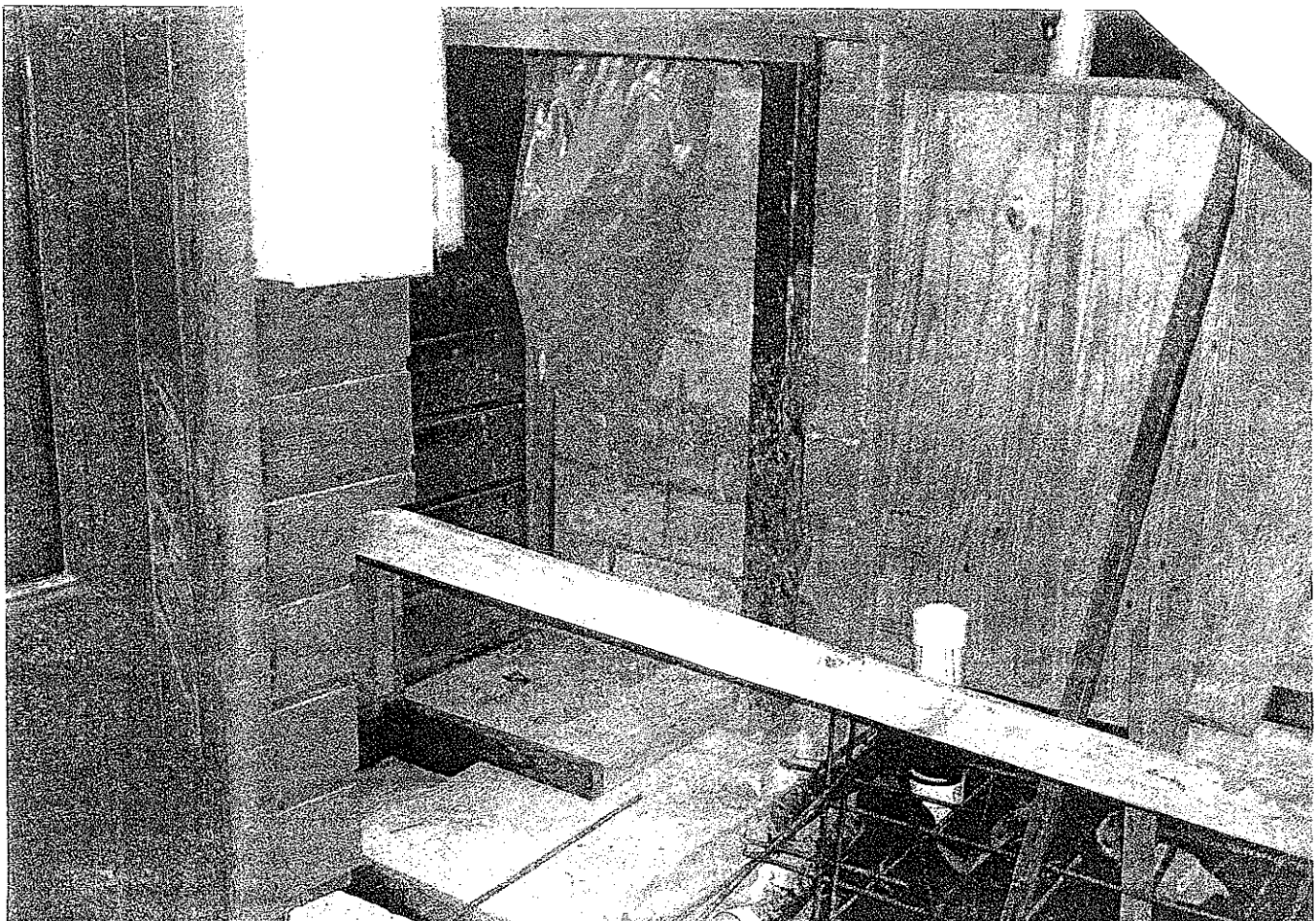
D1/34

ABOVE: 5106 – the side where construction started showing the basement windows & door on one side and the stairwell that was formed. The addition will fill in the area from the left corner to the right sliding door on the first and second floor. The basement windows will remain exposed under the living space addition above.



ABOVE: 5106 -The partially completed concrete stair down to the yard and basement.
 BELOW: The area of the convenience half bath at the bottom of the stairwell (which is to the right). The cinder block wall is a retaining wall for the basement. The plumbing pipe is the toilet pipe.

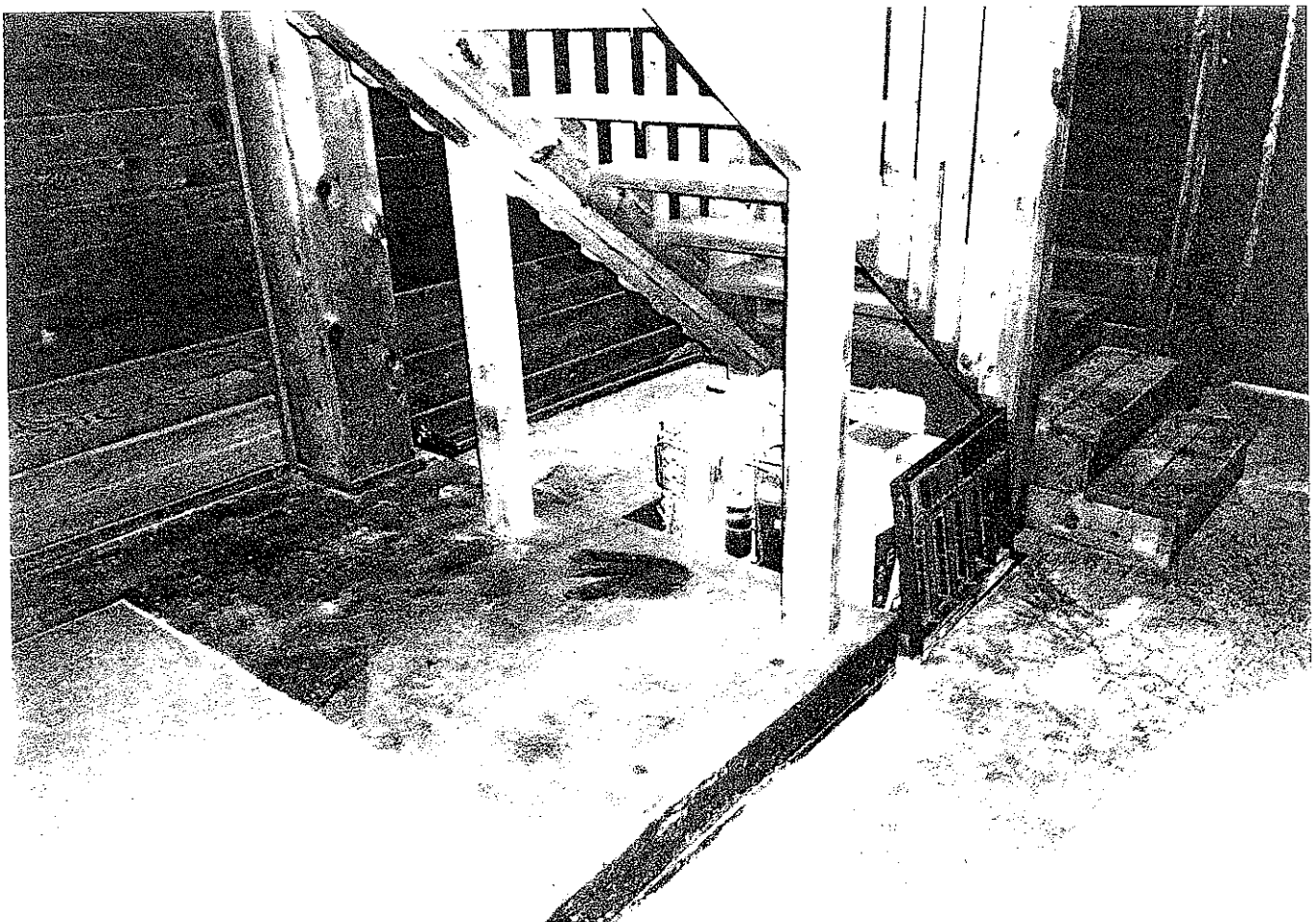
D1/35





ABOVE & BELOW: 5106 - The existing basement showing it's use as storage space.

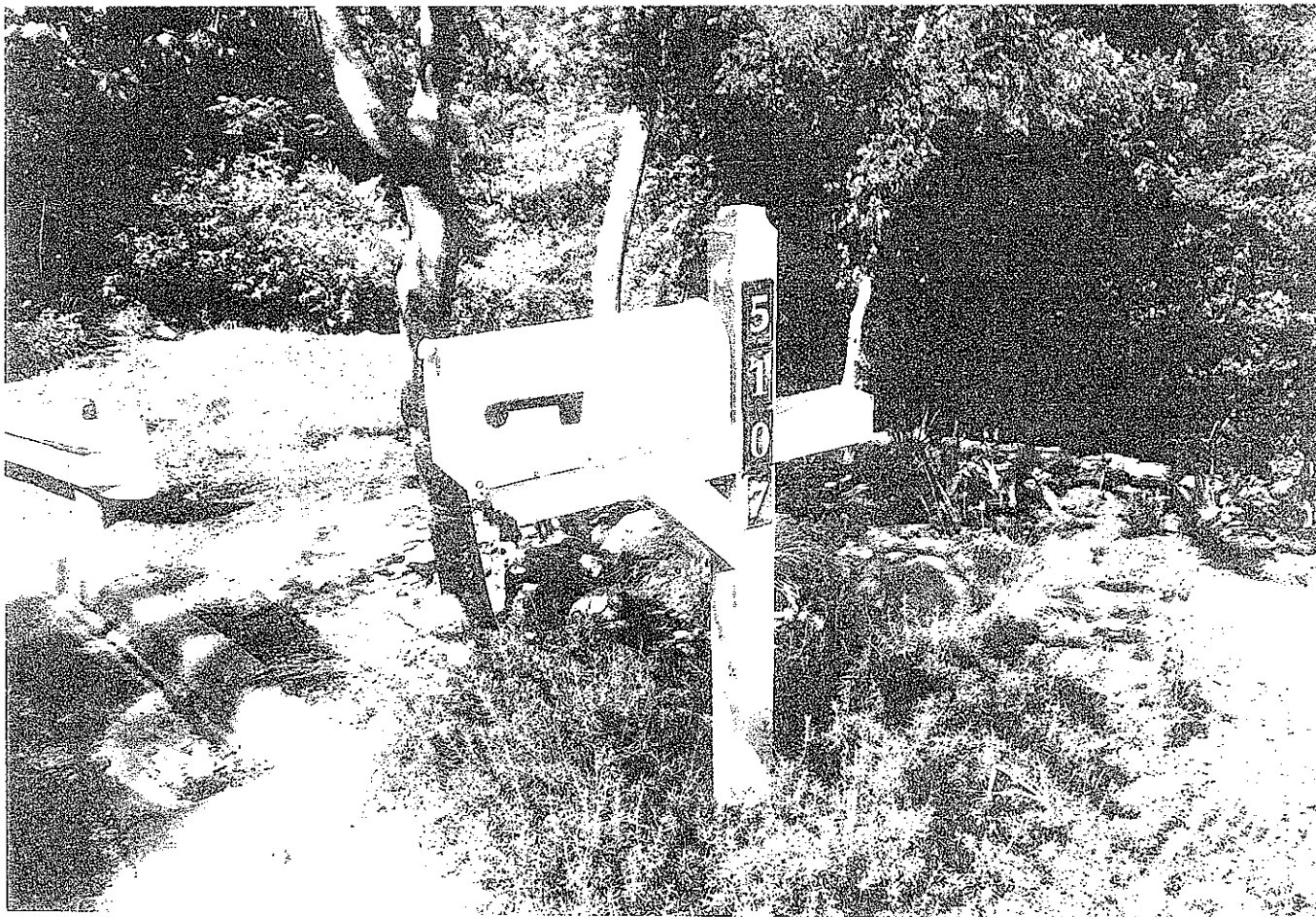
D1/36





ABOVE: 5106 - The garage (below the first floor) windows just above grade (about 2 ft of garage wall showing.)

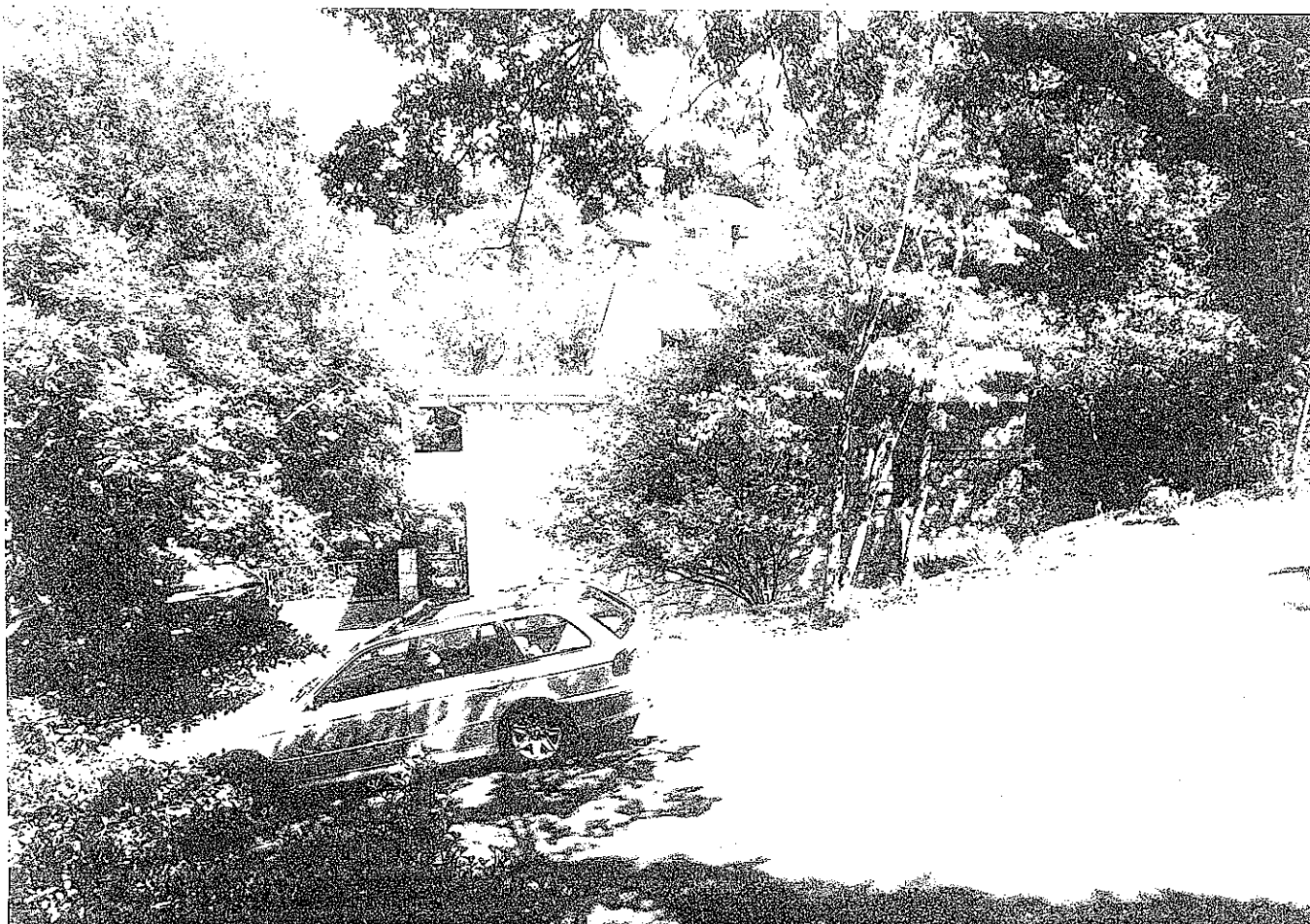
D1/37



ABOVE: 5107 Beverly Skyline

BELOW: 5107 Beverly Skyline – the front view of the house across the street.

D1/32

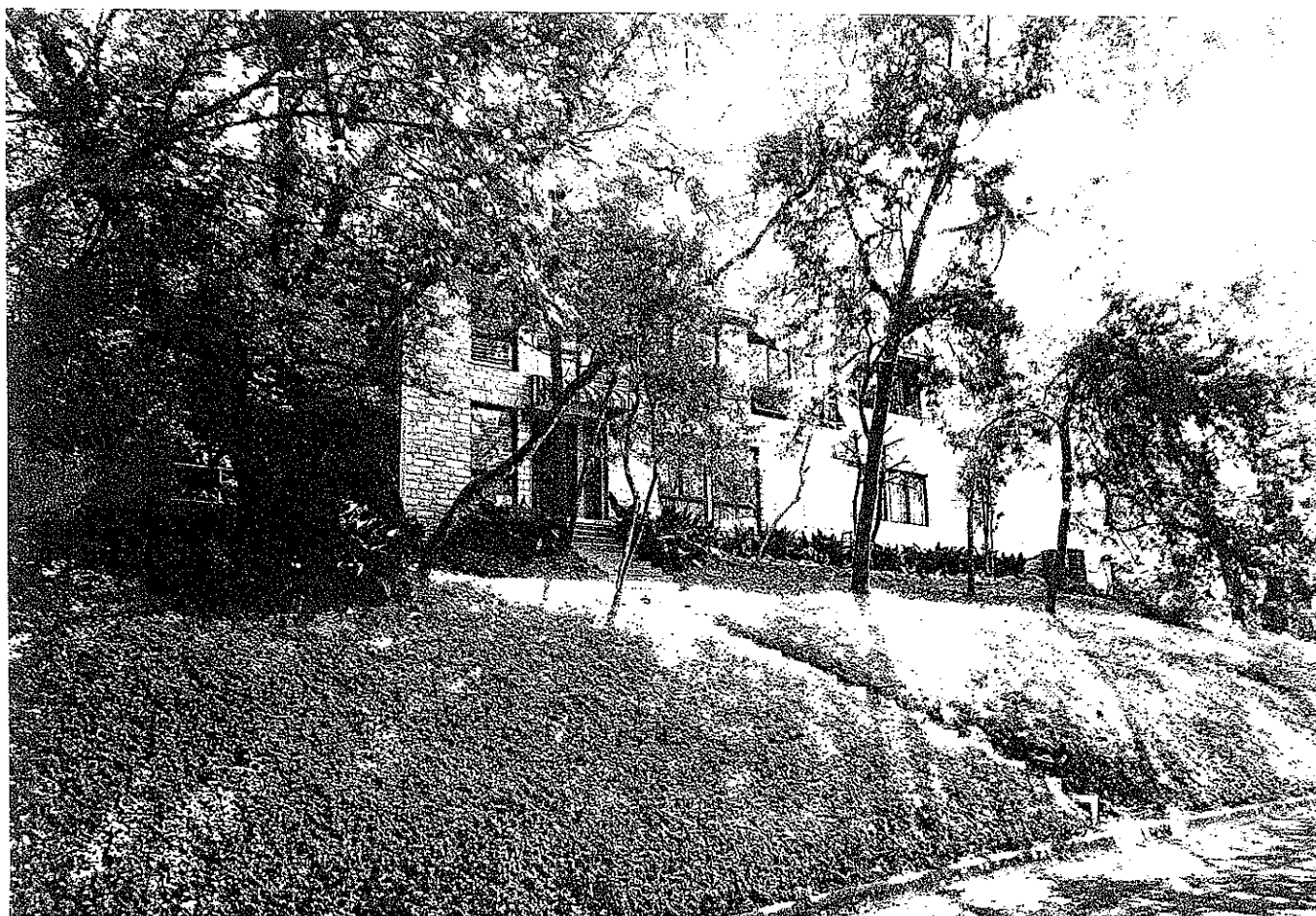


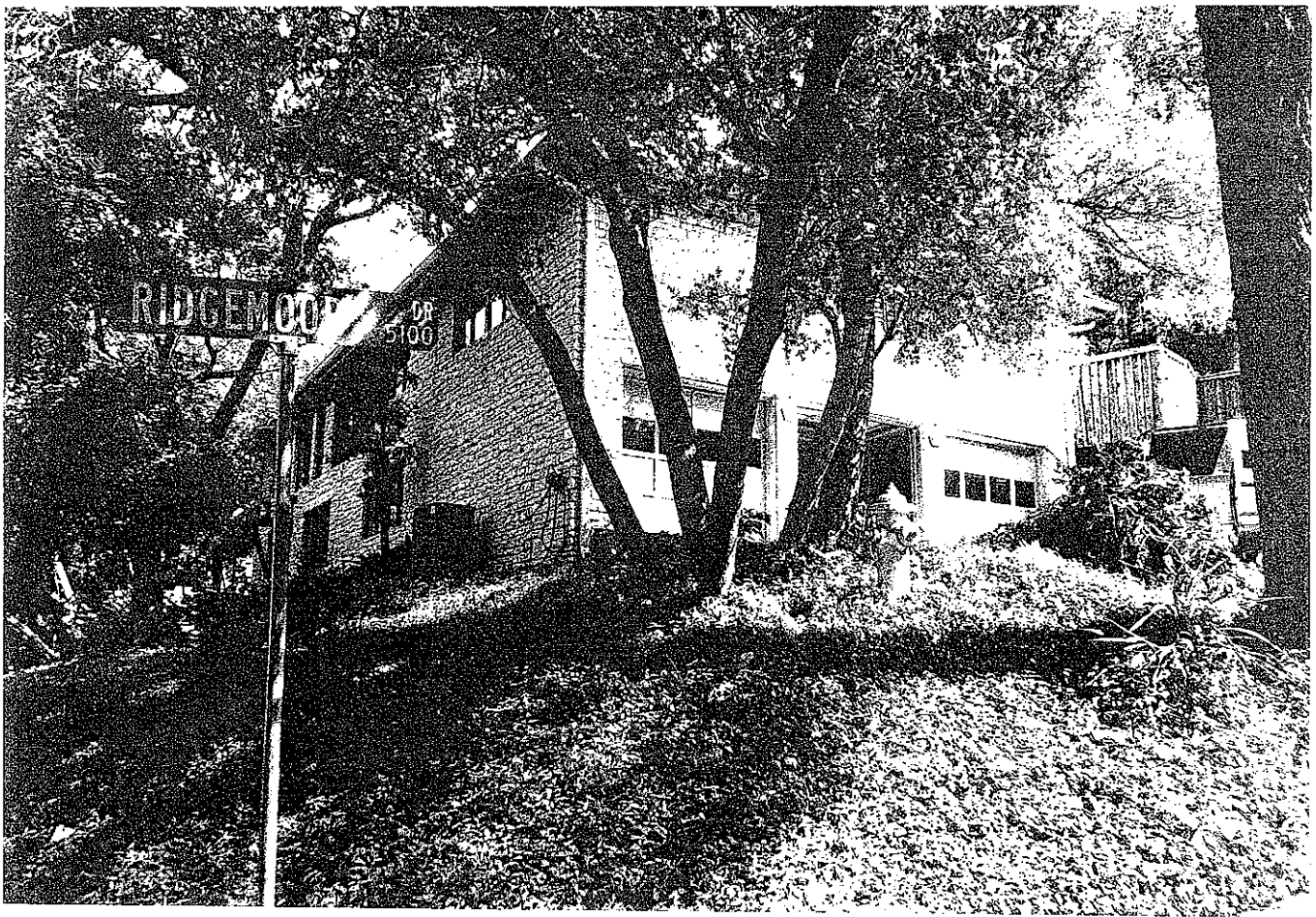


ABOVE: 3603 Lucas

BELOW: 3603 Lucas front view at street level. This is the house next door.

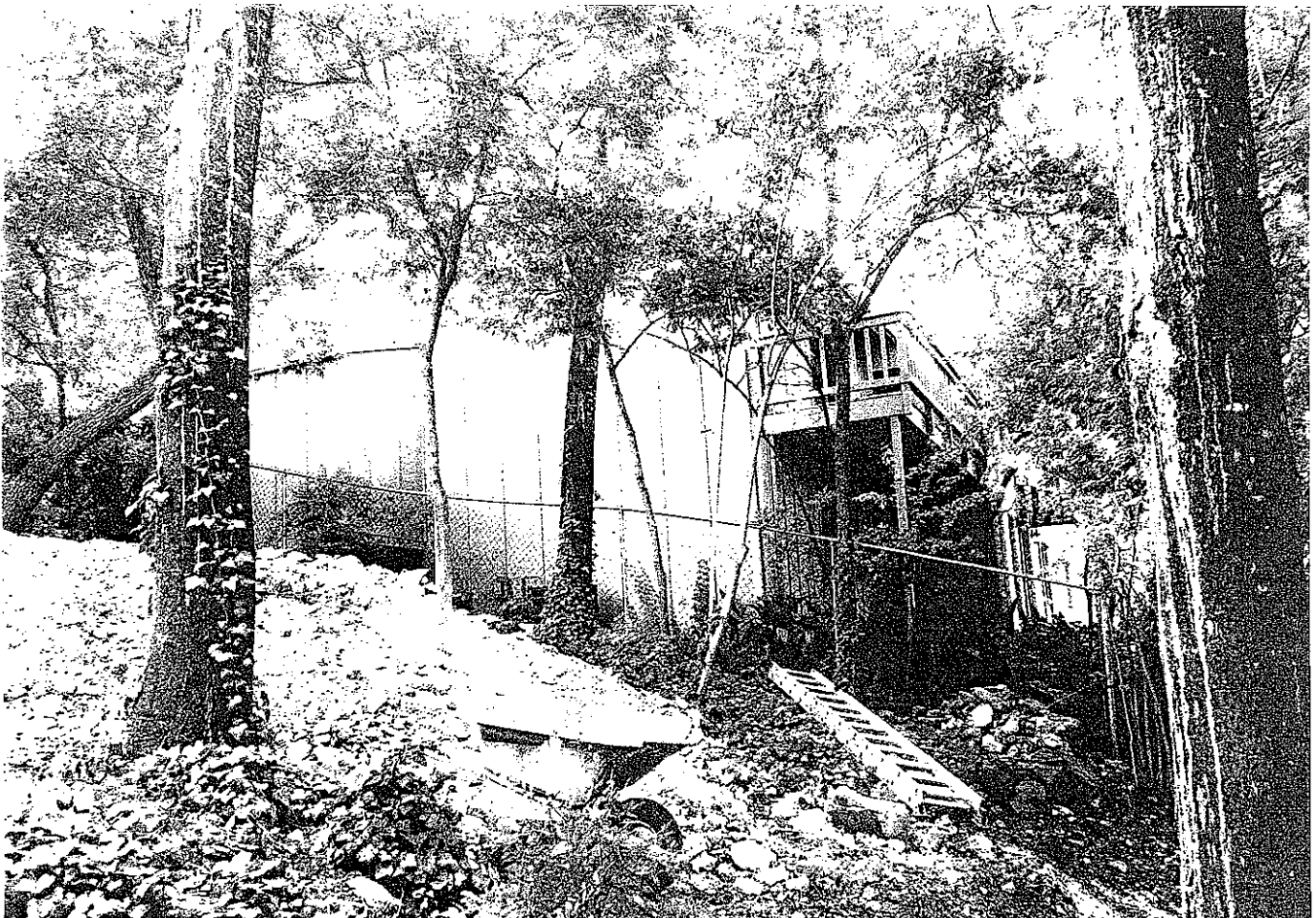
D1/39





ABOVE: 3603 Lucas from the view at the corner looking at the front & garage side
 BELOW: 3603 Lucas, the house next door, showing the wall without windows facing the proposed construction on the side of 5106 Beverly Skyline.

b1/40



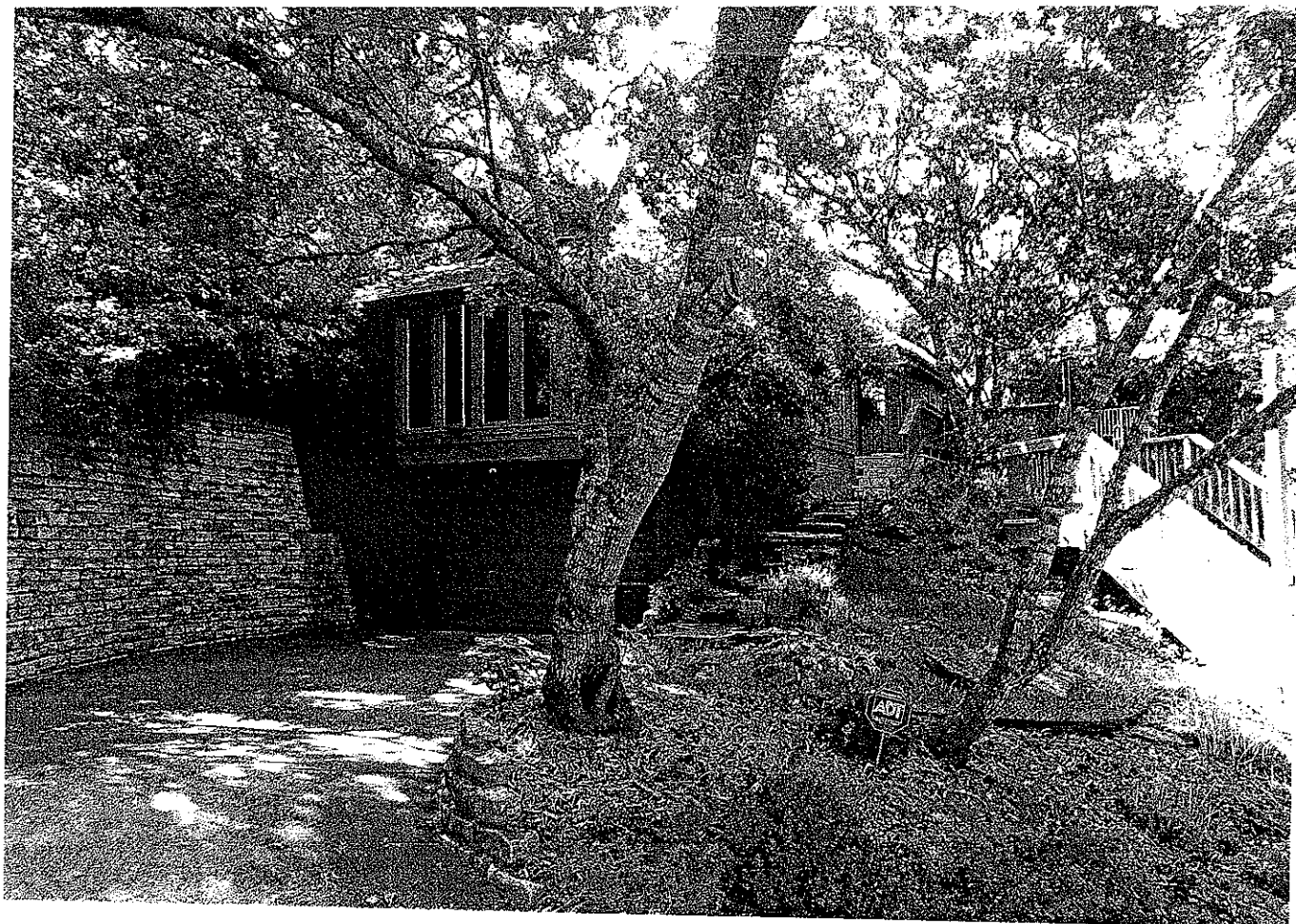


ABOVE: 5104 Beverly Skyline

BELOW: The front view of 5104 Beverly Skyline, the house next door.

D1/41





ABOVE: 5104 Beverly Skyline – (next door) the view of the garage below the house living area.

D1/42

41/43

Residences within 300 Feet of 5106 Beverly Skyline


Resident	Address	Lot Size (SF)	Tax Records				Total	FAR	Allowable Building Area (40% of Lot Size)
			Living Area	Garage	Basement or Att. Storage	Covered Porch			
Walker (existing)	5106 Beverly Skyline	10,241	2,642	788	713	24	4,167	40.7%	4,096
Walker (proposed)		10,241	3,046	788	713	24	4,571	44.6%	4,096
Barrett	5104 Beverly Skyline	10,376	3,115	540		44	3,699	35.6%	4,150
Flowers	5107 Beverly Skyline	17,359	3,220	550		216	3,986	23.0%	6,943
Robinson	3600 Lucas Dr	32,635	3,332	434		280	4,046	12.4%	13,054
Habitzeiter	3603 Lucas Dr	10,441	3,281	630			3,911	37.5%	4,177
Sanders	3602 Lucas Dr	12,192	2,350	430	96	76	2,952	24.2%	4,877
Doyle	3604 Lucas Dr	12,301	3,093	400		8	3,501	28.5%	4,921
Caramelli	3605 Lucas Dr	11,583	2,478	504		384	3,366	29.1%	4,633
Pacheco	5105 Beverly Skyline	14,575	1,832	576		144	2,552	17.5%	5,830
Hecker	5103 Beverly Skyline	16,967	1,487	456	120	328	2,391	14.1%	6,787
Higgins	5100 Beverly Skyline	???	2,436	607		136	3,179	n/a	n/a
Kadens	5101 Beverly Skyline	18,043	2,164	420		304	2,888	16.0%	7,217
McPhillips	5005 Beverly Skyline	22,416	3,322	768		954	5,044	22.5%	8,966
Weber	5101 Ridgemoor Dr	9,409	2,228	441	72	362	3,103	33.0%	3,764
Sackett	5102 Ridgemoor Dr	10,820	3,042	464	108		3,614	33.4%	4,328
Keig	5103 Ridgemoor Dr	11,038	3,384	462		578	4,424	40.1%	4,415
Jones	5100 Ridgemoor Dr	10,026	2,437	480	120		3,037	30.3%	4,010

D1/44

Our neighbors, Kirby and Maureen Walker, are in the process of a small addition and remodel of their home at 5106 Beverly Skyline. I have reviewed their plans for the addition/remodel and found it consistent with existing housing in our neighborhood. We believe that their remodel plans will enhance the look of the neighborhood and it will not impair any use of my nearby property. We live immediately next door to the Walkers and we have no objection to their variance request regarding the maximum building to lot area ratio.

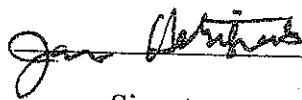
It is our understanding that their permit was approved on April 8, 2011, but now requires a variance due to total square footage. Because the permit had been approved, the demolition and work had already begun. Thank you for helping to expedite their request so that their property will not remain an unfinished construction site any longer than necessary.

Ron Habitzreiter
3603 Lucas Drive


Signature

4/30/11
Date

Jan Habitzreiter
3603 Lucas Drive


Signature

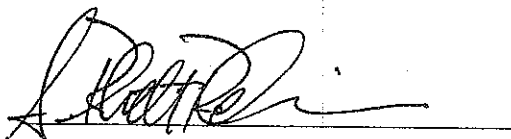
4/30/11
Date

DY/45

Our neighbors, Kirby and Maureen Walker, are in the process of a small addition and remodel of their home at 5106 Beverly Skyline. I have reviewed their plans for the addition/remodel and found it consistent with existing housing in our neighborhood. We believe that their remodel plans will enhance the look of the neighborhood and it will not impair any use of my nearby property. We live immediately across the street on the Lucas Drive side from the Walkers and we have no objection to their variance request regarding the maximum building to lot area ratio.

It is our understanding that their permit was approved on April 8, 2011, but now requires a variance due to total square footage. Because the permit had been approved, the demolition and work had already begun. Thank you for helping to expedite their request so that their property will not remain an unfinished construction site any longer than necessary.

Rhett Robinson
3600 Lucas Drive

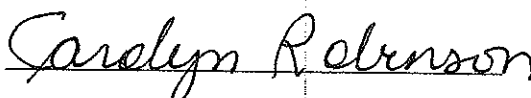


Signature

4-30-11

Date

Carolyn Robinson
3600 Lucas Drive



Signature

4.30.11

Date

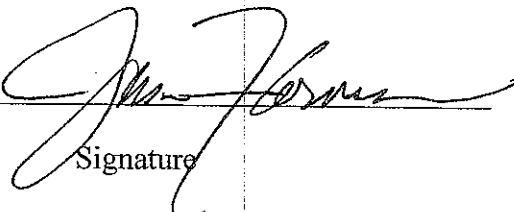
#1/46

Our neighbors, Kirby and Maureen Walker, are in the process of a small addition and remodel of their home at 5106 Beverly Skyline. I have reviewed their plans for the addition/remodel and found it consistent with existing housing in our neighborhood. We believe that their remodel plans will enhance the look of the neighborhood and it will not impair any use of my nearby property. We live immediately across the street from the Walkers and we have no objection to their variance request regarding the maximum building to lot area ratio.

It is our understanding that their permit was approved on April 8, 2011, but now requires a variance due to total square footage. Because the permit had been approved, the demolition and work had already begun. Thank you for helping to expedite their request so that their property will not remain an unfinished construction site any longer than necessary.

Jason Flowers

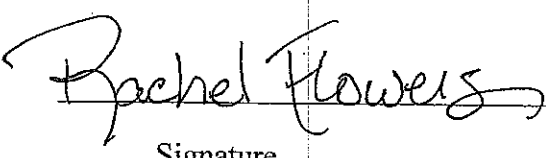
5107 Beverly Skyline


Signature

5.1.2011
Date

Rachel Flowers

5104 Beverly Skyline


Signature

5/1/2011
Date

D1/47

Our neighbors, Kirby and Maureen Walker, are in the process of a small addition and remodel of their home at 5106 Beverly Skyline. I have reviewed their plans for the addition/remodel and found it consistent with existing housing in our neighborhood. We believe that their remodel plans will enhance the look of the neighborhood and it will not impair any use of my nearby property. We live immediately next door to the Walkers and we have no objection to their variance request regarding the maximum building to lot area ratio.

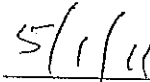
It is our understanding that their permit was approved on April 8, 2011, but now requires a variance due to total square footage. Because the permit had been approved, the demolition and work had already begun. Thank you for helping to expedite their request so that their property will not remain an unfinished construction site any longer than necessary.

Michael Barrett

5104 Beverly Skyline



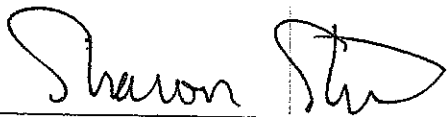
Signature



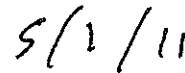
Date

Sharon Strover

5104 Beverly Skyline



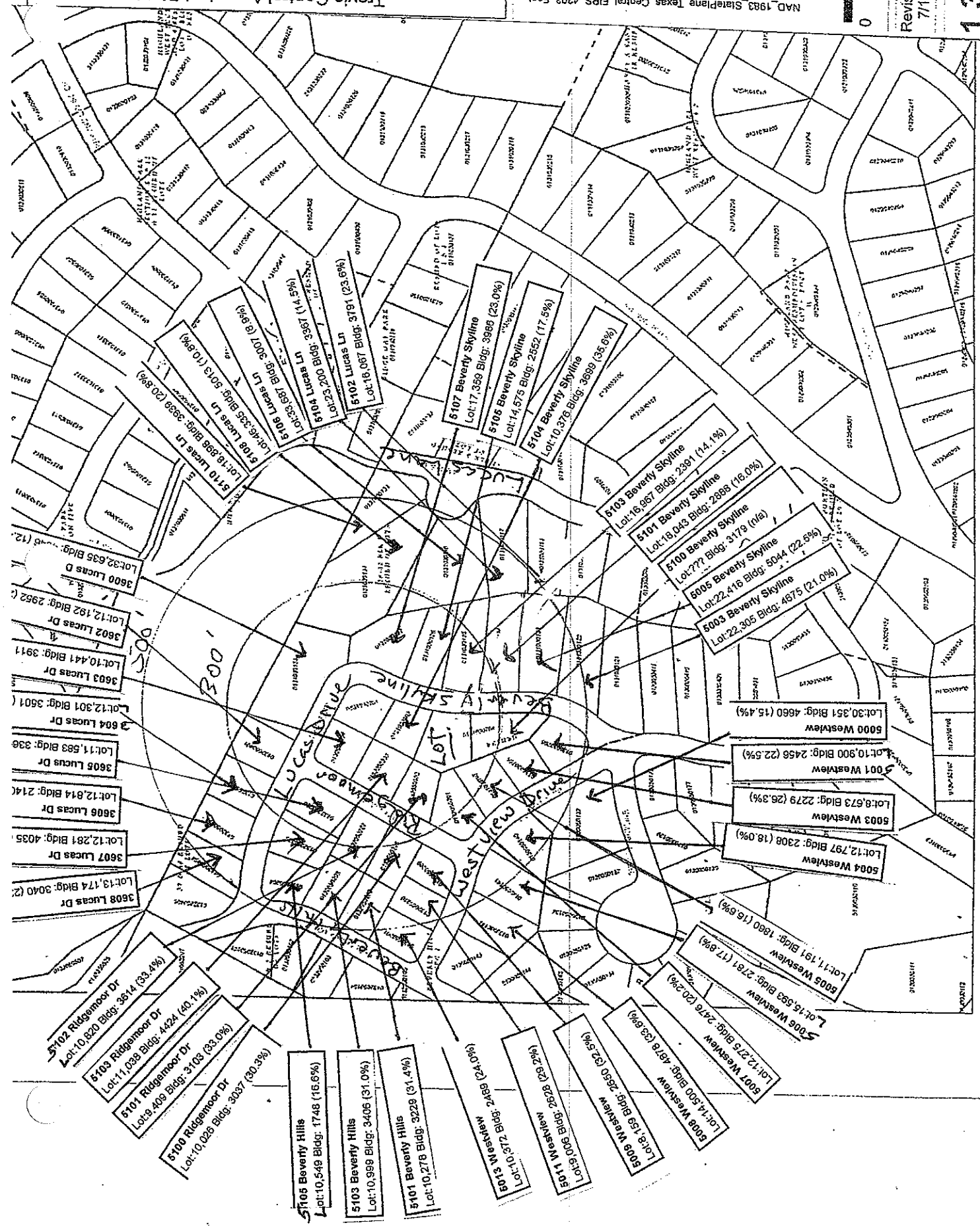
Signature



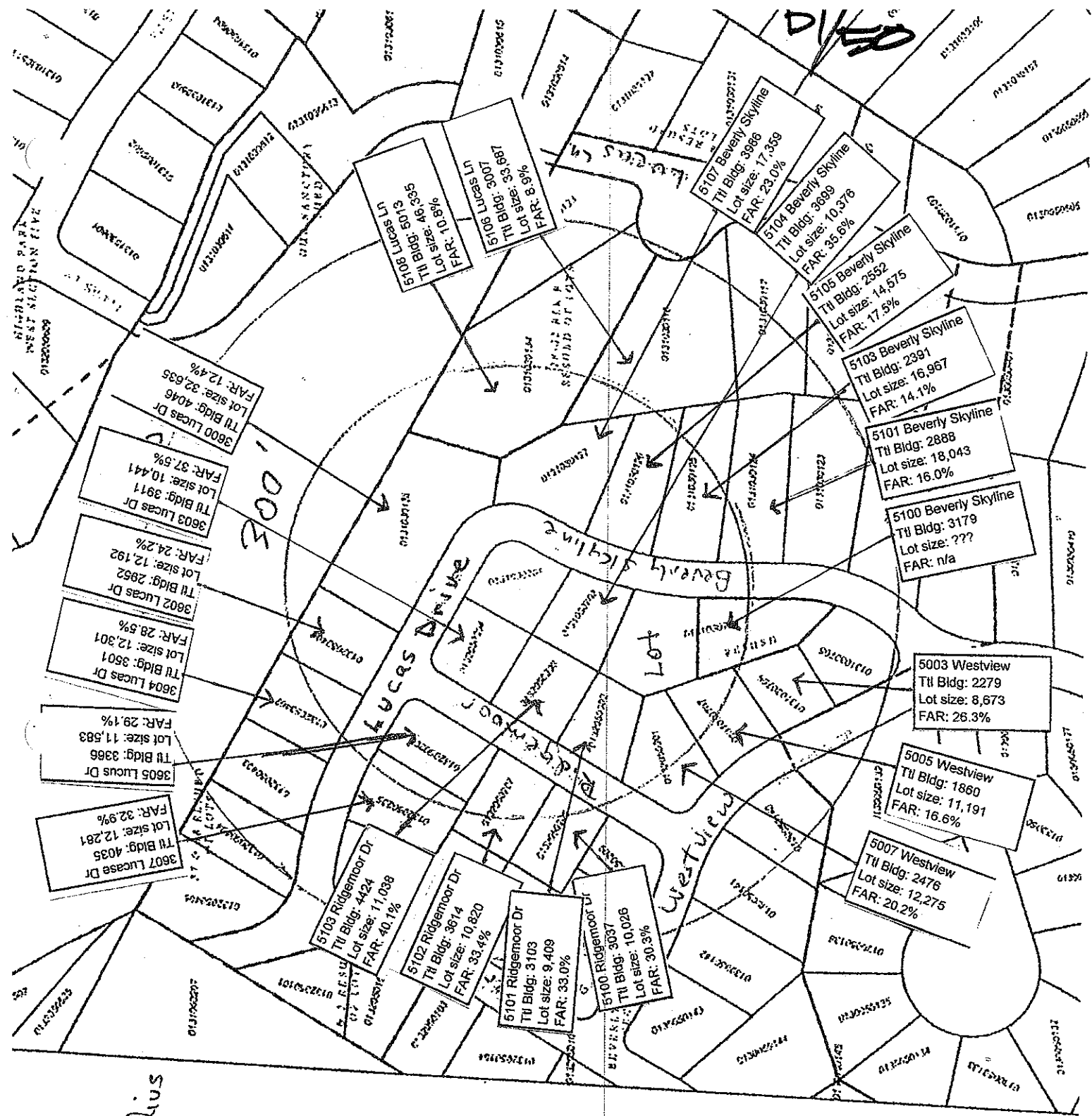
Date

13103

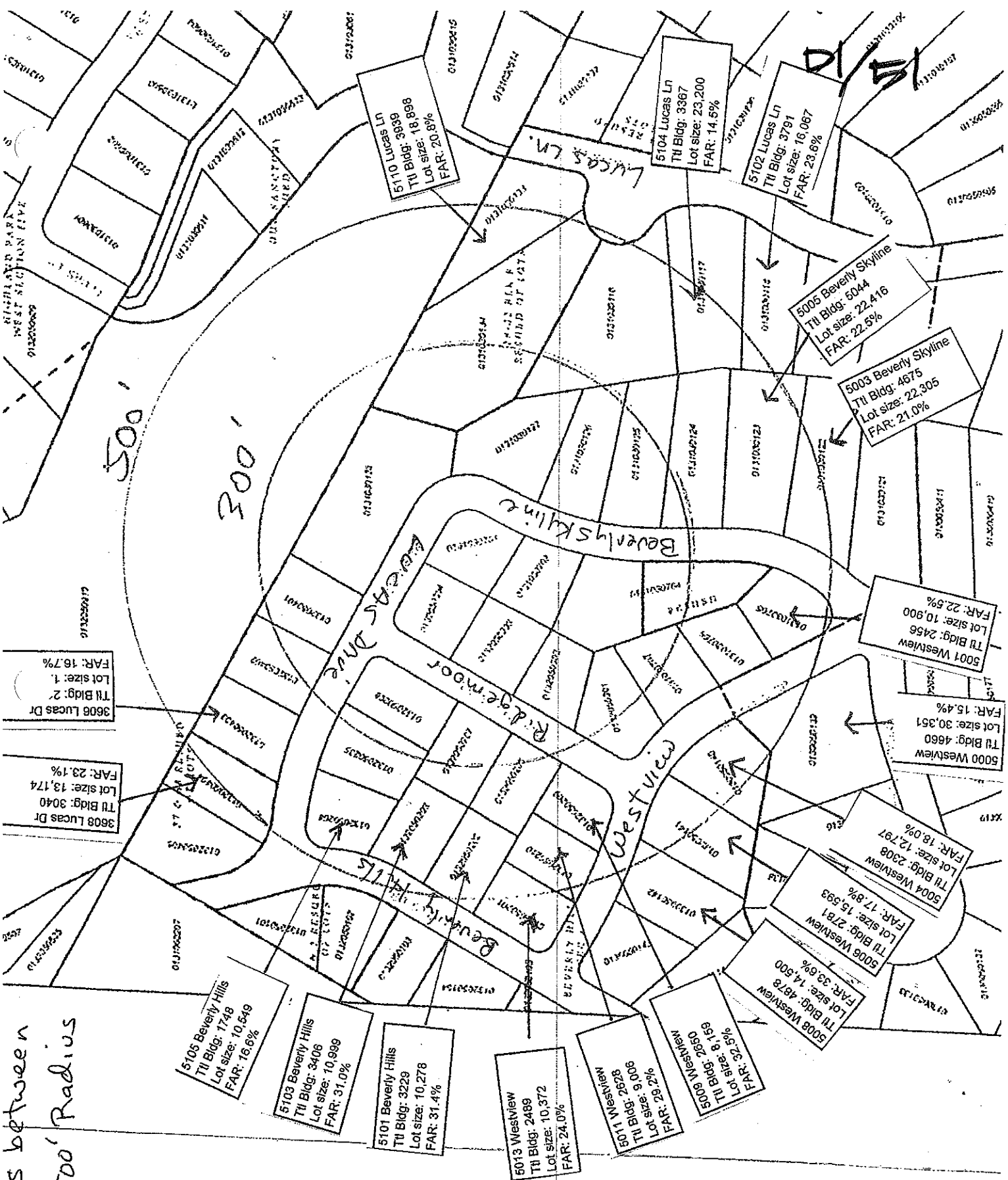
Travis Central Appraisal District
8314 Cross Park Drive
Austin, Texas 78754
Internet Address: www.traviscad.org
Main Telephone Number (512) 834-3917
TDD (512) 836-3038
Appraisal Information (512) 834-3918



Properties
within 300' radius



Properties between
300' and 500' Radius



RESIDENCES WITHIN 300 FEET OF 3100 BEVERLY SKYLINE

Resident	Address	Lot Size (SF)	Living Area	Tk Carport	Storage	Porch / Terrace	Total	FAR	Allowable Building Area (40% of Lot Size)
Walker (existing)	5106 Beverly Skyline	10,241	2,642	588	713	24	3,967	38.7%	4,0
Walker (proposed)		10,241	3,046	588	713	24	4,371	42.7%	4,0
Robinson	3600 Lucas Dr	32,635	3,332	434		280	4,046	12.4%	13,0
Sanders	3602 Lucas Dr	12,192	2,350	430	96	76	2,952	24.2%	4,8
Habitzreiter	3603 Lucas Dr	10,441	3,281	630			3,911	37.5%	4,1
Doyle	3604 Lucas Dr	12,301	3,093	400		8	3,501	28.5%	4,9
Caramelli	3605 Lucas Dr	11,583	2,478	504		384	3,366	29.1%	4,6
Hadden	3606 Lucas Dr	12,814	1,592	421	119	8	2,140	16.7%	5,1
Goff	3607 Lucas Dr	12,281	3,060	550		425	4,035	32.9%	4,9
Stevens	3608 Lucas Dr	13,174	2,570	440		30	3,040	23.1%	5,2
Presnel	5000 Westview	30,351	3,237	525	346	552	4,660	15.4%	12,1
Angermann	5001 Westview	10,900	1,736	400		320	2,456	22.5%	4,3
Roberts	5003 Beverly Skyline	22,305	3,136	441	300	798	4,675	21.0%	8,9
Capitol Endeavors	5003 Westview	8,673	1,583	500		196	2,279	26.3%	3,4
Philo	5004 Westview	12,797	1,668	408	80	152	2,308	18.0%	5,1
McPhillips	5005 Beverly Skyline	22,416	3,322	768		954	5,044	22.5%	8,9
Casey	5005 Westview	11,191	1,380	360		120	1,860	16.6%	4,4
Whiteaker	5006 Westview	15,593	1,775	620		386	2,781	17.8%	6,2
Tatu	5007 Westview	12,275	1,856	400	220		2,476	20.2%	4,9
Toprac	5008 Westview	14,500	3,193	707		978	4,878	33.6%	5,8
Kawaguchi	5009 Westview	8,159	1,816	504		330	2,650	32.5%	3,2
Cox	5011 Westview	9,006	1,576	396	60	596	2,628	29.2%	3,6
Knoll	5013 Westview	10,372	1,625	540		324	2,489	24.0%	4,14
Higgins	5100 Beverly Skyline	???	2,436	607		136	3,179	n/a	n/
Jones	5100 Ridgemoor Dr	10,026	2,437	480	120		3,037	30.3%	4,01
Gordon	5101 Beverly Hills	10,278	2,131	504	384	210	3,229	31.4%	4,11
Kadens	5101 Beverly Skyline	18,043	2,164	420		304	2,888	16.0%	7,21
Weber	5101 Ridgemoor Dr	9,409	2,228	441	72	362	3,103	33.0%	3,76
Lacy	5102 Lucas Ln	16,067	2,894	420		477	3,791	23.6%	6,42
Sackett	5102 Ridgemoor Dr	10,820	3,042	464	108		3,614	33.4%	4,32
Cone	5103 Beverly Hills	10,999	2,782	520		104	3,406	31.0%	4,40
Hecker	5103 Beverly Skyline	16,967	1,487	456	120	328	2,391	14.1%	6,78
Keig	5103 Ridgemoor Dr	11,038	3,384	462		578	4,424	40.1%	4,41
Barrett	5104 Beverly Skyline	10,376	3,115	540		44	3,699	35.6%	4,15
Gamble	5104 Lucas Ln	23,200	2,571	500		296	3,367	14.5%	9,28
Oswalt	5105 Beverly Hills	10,549	1,748				1,748	16.6%	4,22
Pacheco	5105 Beverly Skyline	14,575	1,832	576		144	2,552	17.5%	5,830
Shadden	5106 Lucas Ln	33,687	2,571	420		16	3,007	8.9%	13,475
Flowers	5107 Beverly Skyline	17,359	3,220	550		216	3,986	23.0%	6,943
Estes	5108 Lucas Ln	46,335	3,433	625		955	5,013	10.8%	18,534
Box	5110 Lucas Ln	18,898	2,469	567		903	3,939	20.8%	7,559

D1/52



AUSTIN/CENTRAL TEXAS REALTY INFORMATION SERVICE

SELLER'S DISCLOSURE NOTICE

D1/53

THIS FORM IS FURNISHED BY THE AUSTIN/CENTRAL TEXAS REALTY INFORMATION SERVICE FOR USE BY ITS PARTICIPANTS. USE OF THIS FORM BY PERSONS WHO ARE NOT PARTICIPANTS OF THE AUSTIN/CENTRAL TEXAS REALTY INFORMATION SERVICE IS NOT AUTHORIZED.

NOTE: EFFECTIVE JANUARY 1, 1994, SECTION 5.008 OF THE TEXAS PROPERTY CODE REQUIRES A SELLER OF RESIDENTIAL REAL PROPERTY OF NOT MORE THAN ONE DWELLING UNIT TO DELIVER A COPY OF THE SELLER'S DISCLOSURE NOTICE, COMPLETE TO THE BEST OF THE SELLER'S BELIEF AND KNOWLEDGE TO A PURCHASER ON OR BEFORE THE EFFECTIVE DATE OF A CONTRACT FOR THE SALE OF THE PROPERTY. IF A CONTRACT IS ENTERED INTO WITHOUT THE SELLER PROVIDING THE NOTICE, THE BUYER MAY TERMINATE THE CONTRACT FOR ANY REASON WITHIN SEVEN (7) DAYS AFTER RECEIVING THE NOTICE. IF INFORMATION REQUIRED BY THE NOTICE IS UNKNOWN TO THE SELLER, THE SELLER MAY INDICATE THAT FACT ON THE NOTICE AND THEREBY COMPLY WITH THE REQUIREMENTS OF SECTION 5.008 OF THE TEXAS PROPERTY CODE.

CONCERNING THE PROPERTY AT 5106 Beverly Skyline, Austin, Tx
(Street, Address and City)

THIS NOTICE IS A DISCLOSURE OF SELLER'S KNOWLEDGE OF THE CONDITION OF THE PROPERTY AS OF THE DATE SIGNED BY SELLER AND IS NOT A SUBSTITUTE FOR ANY INSPECTIONS OR WARRANTIES THE PURCHASER MAY WISH TO OBTAIN. IT IS NOT A WARRANTY OF ANY KIND BY SELLER, SELLER'S AGENTS, OR ANY OTHER AGENT.

Is ☒ is occupying the Property. If unoccupied, how long since Seller has occupied the Property? _____
Is ☒ is not knowledgeable of the current condition of the property.

FEATURES AND EQUIPMENT TO REMAIN: (Mark all appropriate items TO REMAIN and their working condition)

<input checked="" type="checkbox"/> DISHWASHER	<input checked="" type="checkbox"/> [Y] [N] [U]	<input type="checkbox"/> POOL	<input type="checkbox"/> [Y] [N] [U]
<input type="checkbox"/> DRYER [E] [G] [110V] [220V]	<input type="checkbox"/> [Y] [N] [U]	<input type="checkbox"/> POOL ACCESSORIES/EQUIPMENT	<input type="checkbox"/> [Y] [N] [U]
<input checked="" type="checkbox"/> DRYER HOOKUPS [110V] [220V] [G]	<input type="checkbox"/> [Y] [N] [U]	<input type="checkbox"/> POOL HEATER [E] [G] [SOLAR]	<input type="checkbox"/> [Y] [N] [U]
<input checked="" type="checkbox"/> GARBAGE DISPOSAL	<input type="checkbox"/> [Y] [N] [U]	<input checked="" type="checkbox"/> SPA/HOT TUB	<input type="checkbox"/> [Y] [N] [U]
<input checked="" type="checkbox"/> MICROWAVE	<input type="checkbox"/> [Y] [N] [U]	<input checked="" type="checkbox"/> SPA HEATER [E] [G] [SOLAR]	<input type="checkbox"/> [Y] [N] [U]
<input checked="" type="checkbox"/> OVEN [E] [G]	<input type="checkbox"/> [Y] [N] [U]	<input checked="" type="checkbox"/> CABLE TV WIRING	<input type="checkbox"/> [Y] [N] [U]
<input checked="" type="checkbox"/> RANGE [E] [G]	<input type="checkbox"/> [Y] [N] [U]	<input type="checkbox"/> INTERCOM SYSTEM	<input type="checkbox"/> [Y] [N] [U]
<input checked="" type="checkbox"/> REFRIGERATOR(S) # <u>basement only</u>	<input type="checkbox"/> [Y] [N] [U]	<input type="checkbox"/> SATELLITE DISH SYSTEM	<input type="checkbox"/> [Y] [N] [U]
<input type="checkbox"/> TRASH COMPACTOR	<input type="checkbox"/> [Y] [N] [U]	<input type="checkbox"/> OWNED <input type="checkbox"/> LEASED	<input type="checkbox"/> [Y] [N] [U]
<input type="checkbox"/> WASHER	<input type="checkbox"/> [Y] [N] [U]	<input type="checkbox"/> MO LEASE \$ _____ MO SVC CHG \$ _____	
<input checked="" type="checkbox"/> WASHER HOOKUPS [110V] [220V]	<input type="checkbox"/> [Y] [N] [U]	<input type="checkbox"/> SPECIALTY WIRING	<input type="checkbox"/> [Y] [N] [U]
<input checked="" type="checkbox"/> WATER HEATER # _____ [E] [G] [SOLAR]	<input type="checkbox"/> [Y] [N] [U]	<input type="checkbox"/> T.V. ANTENNA	<input type="checkbox"/> [Y] [N] [U]
<input type="checkbox"/> WATER SOFTENER <input type="checkbox"/> OWNED <input type="checkbox"/> LEASED	<input type="checkbox"/> [Y] [N] [U]	<input type="checkbox"/> AUTOMATIC LAWN SPRINKLER SYSTEM	<input type="checkbox"/> [Y] [N] [U]
<input type="checkbox"/> MO LEASE \$ _____ MO SVC CHG \$ _____	<input type="checkbox"/> [Y] [N] [U]	<input type="checkbox"/> CARPORT: ATTACHED [Y] [N]	<input type="checkbox"/> [Y] [N] [U]
<input type="checkbox"/> SAUNA	<input type="checkbox"/> [Y] [N] [U]	<input type="checkbox"/> # SPACES _____	
<input checked="" type="checkbox"/> FIREPLACE <input checked="" type="checkbox"/> WOOD <input type="checkbox"/> GAS # _____	<input type="checkbox"/> [Y] [N] [U]	<input checked="" type="checkbox"/> FENCES/FENCE WALLS	<input type="checkbox"/> [Y] [N] [U]
<input type="checkbox"/> FIREPLACE LOGS/ARTIFICIAL # _____	<input type="checkbox"/> [Y] [N] [U]	<input checked="" type="checkbox"/> FRENCH DRAIN	<input type="checkbox"/> [Y] [N] [U]
<input type="checkbox"/> GAS FIRE STARTER # _____	<input type="checkbox"/> [Y] [N] [U]	<input checked="" type="checkbox"/> GARAGE: ATTACHED [Y] [N]	<input type="checkbox"/> [Y] [N] [U]
<input type="checkbox"/> MOCK FIREPLACE WITH CHIMNEY # _____	<input type="checkbox"/> [Y] [N] [U]	<input type="checkbox"/> # SPACES <u>4</u>	
<input type="checkbox"/> ATTIC FAN(S) # _____	<input type="checkbox"/> [Y] [N] [U]	<input checked="" type="checkbox"/> GARAGE DOOR OPENER # _____ [E]	<input type="checkbox"/> [Y] [N] [U]
<input checked="" type="checkbox"/> BATHROOM HEATER # <u>19mpa</u> [E] [G]	<input type="checkbox"/> [Y] [N] [U]	<input checked="" type="checkbox"/> GARAGE REMOTE CONTROL # <u>2</u>	<input type="checkbox"/> [Y] [N] [U]
<input checked="" type="checkbox"/> CEILING FAN(S) # <u>6</u>	<input type="checkbox"/> [Y] [N] [U]	<input type="checkbox"/> GAZEBO	<input type="checkbox"/> [Y] [N] [U]
<input checked="" type="checkbox"/> CENTRAL A/C # <u>2</u> [E] [G]	<input type="checkbox"/> [Y] [N] [U]	<input checked="" type="checkbox"/> MAILBOX	<input type="checkbox"/> [Y] [N] [U]
<input checked="" type="checkbox"/> CENTRAL HEAT # <u>2</u> [E] [G] [HP]	<input type="checkbox"/> [Y] [N] [U]	<input type="checkbox"/> OUTDOOR GRILL	<input type="checkbox"/> [Y] [N] [U]
<input type="checkbox"/> EVAPORATIVE COOLER # _____	<input type="checkbox"/> [Y] [N] [U]	<input checked="" type="checkbox"/> PATIO/DECKING	<input type="checkbox"/> [Y] [N] [U]
<input checked="" type="checkbox"/> EXHAUST FANS # <u>3</u> [E]	<input type="checkbox"/> [Y] [N] [U]	<input checked="" type="checkbox"/> PLUMBING SYSTEM	<input type="checkbox"/> [Y] [N] [U]
<input type="checkbox"/> GAS FIXTURES	<input type="checkbox"/> [Y] [N] [U]	<input checked="" type="checkbox"/> PUBLIC SEWER SYSTEM	<input type="checkbox"/> [Y] [N] [U]
<input type="checkbox"/> GAS LINES (NAT/LP)	<input type="checkbox"/> [Y] [N] [U]	<input type="checkbox"/> SEPTIC SYSTEM/TANK	<input type="checkbox"/> [Y] [N] [U]
<input type="checkbox"/> SPACE HEATER # _____ [E] [G]	<input type="checkbox"/> [Y] [N] [U]	<input type="checkbox"/> DATE PUMPED _____	
<input checked="" type="checkbox"/> WALL/WINDOW A/C # <u>basement</u>	<input type="checkbox"/> [Y] [N] [U]	<input type="checkbox"/> PORTABLE STORAGE BLDG(S) # _____	<input type="checkbox"/> [Y] [N] [U]
<input type="checkbox"/> CARBON MONOXIDE DETECTOR	<input type="checkbox"/> [Y] [N] [U]	<input checked="" type="checkbox"/> RAIN GUTTERS	<input type="checkbox"/> [Y] [N] [U]
<input checked="" type="checkbox"/> SMOKE DETECTORS # <u>3</u>	<input type="checkbox"/> [Y] [N] [U]	<input type="checkbox"/> SUMP PUMP	<input type="checkbox"/> [Y] [N] [U]
<input checked="" type="checkbox"/> SECURITY SYSTEM <input checked="" type="checkbox"/> OWNED <input type="checkbox"/> LEASED	<input type="checkbox"/> [Y] [N] [U]	<input checked="" type="checkbox"/> WINDOW SCREENS	<input type="checkbox"/> [Y] [N] [U]
<input type="checkbox"/> MO LEASE \$ _____ MO SVC CHG \$ <u>40</u>	<input type="checkbox"/> [Y] [N] [U]		
<input type="checkbox"/> FIRE ALARMS/DETECTOR(S) # _____	<input type="checkbox"/> [Y] [N] [U]	<input type="checkbox"/> OTHER _____	

Explain all No [N] or unknown [U] answers: _____

The following property is to be excluded from the sale: shuffleboard, potted plants

AC 7/SD 07/01

Initialed for identification by Seller [Signature] and Buyer [Signature]

Page 1 of 4

Phone:

Fax:

Produced with ZipForm™ by RE FormsNet, LLC 18025 Fifteen Mile Road, Clinton Township, Michigan 48035, (800) 383-9805

SERVICES TO THIS PROPERTY PROVIDED BY: (Fill in names of suppliers)

WATER Supply: ☒ CITY ☐ WELL ☐ PRIVATE ☐ MUD
☐ WCID ☐ COOP ☐ OTHER
WASTEWATER: ☒ CITY ☐ COOP ☐ MUD ☐ OTHER
☐ SEPTIC ☐ TAP 1407 (Information About On-Site Sewer Facility)
ELECTRICITY: city
CABLE TV: Time Warner
SOLID WASTE PROVIDER: city

GAS Supply: ☐ UTILITY ☐ TANK ☐ BOTTLE ☐ COOP
TANK/BOTTLE MO. LEASE \$
HOMEOWNER'S ASSOC.:
MONTHLY HOMEOWNER'S FEE: \$
MANAGER'S NAME:
TELEPHONE:
HOA Transfer Fee \$
HOA Transfer Fee Paid by ☐ Seller ☐ Buyer ☐ Negotiable
☐ SELLER TO OBTAIN HOA INFORMATION

ARE YOU (SELLER) AWARE OF ANY KNOWN DEFECTS/MALFUNCTIONS IN ANY OF THE FOLLOWING? (Mark Yes [Y] if you are aware, mark No [N] if you are not aware.)

BASEMENT	<input checked="" type="checkbox"/> [Y] <input type="checkbox"/> [N]	FIREPLACE(S)	<input checked="" type="checkbox"/> [Y] <input type="checkbox"/> [N]	ROOF:	<input checked="" type="checkbox"/> [Y] <input type="checkbox"/> [N]
CEILINGS	<input checked="" type="checkbox"/> [Y] <input type="checkbox"/> [N]	FLOORS	<input checked="" type="checkbox"/> [Y] <input type="checkbox"/> [N]	ROOF APPROX. AGE	<u>19 yrs</u>
DOORS	<input checked="" type="checkbox"/> [Y] <input type="checkbox"/> [N]	FOUNDATION/SLAB(S)	<input checked="" type="checkbox"/> [Y] <input type="checkbox"/> [N]	ROOF TYPE	<u>tin</u>
DRIVEWAY(S)	<input checked="" type="checkbox"/> [Y] <input type="checkbox"/> [N]	INTERIOR WALLS	<input checked="" type="checkbox"/> [Y] <input type="checkbox"/> [N]	SIDEWALKS	<input checked="" type="checkbox"/> [Y] <input type="checkbox"/> [N]
ELECTRICAL SYSTEM(S)	<input checked="" type="checkbox"/> [Y] <input type="checkbox"/> [N]	LIGHTING FIXTURES	<input checked="" type="checkbox"/> [Y] <input type="checkbox"/> [N]	SWIMMING POOL	<input checked="" type="checkbox"/> [Y] <input type="checkbox"/> [N]
EXTERIOR WALLS	<input checked="" type="checkbox"/> [Y] <input type="checkbox"/> [N]	PLUMBING/SEWER/SEPTIC	<input checked="" type="checkbox"/> [Y] <input type="checkbox"/> [N]	WINDOWS	<input checked="" type="checkbox"/> [Y] <input type="checkbox"/> [N]

OTHER STRUCTURAL COMPONENTS (DESCRIBE): steep basement stairs

If the answer to any of the above is yes, explain. (Attach additional sheets if necessary):

ARE YOU (SELLER) AWARE OF ANY OF THE FOLLOWING? (Mark Yes [Y] if you are aware, mark No [N] if you are not aware.)

TERMITES	<input checked="" type="checkbox"/> [Y] <input type="checkbox"/> [N]	PREVIOUS FLOODING OF LAND	<input checked="" type="checkbox"/> [Y] <input type="checkbox"/> [N]
DESTROYING INSECTS	<input checked="" type="checkbox"/> [Y] <input type="checkbox"/> [N]	IMPROPER DRAINAGE	<input checked="" type="checkbox"/> [Y] <input type="checkbox"/> [N]
TERMITE OR WOOD ROT NEEDING REPAIR	<input checked="" type="checkbox"/> [Y] <input type="checkbox"/> [N]	LOCATED IN 100 YEAR FLOOD PLAIN	<input checked="" type="checkbox"/> [Y] <input type="checkbox"/> [N]
PREVIOUS TERMITE DAMAGE <u>garage</u>	<input checked="" type="checkbox"/> [Y] <input type="checkbox"/> [N]	PRESENT FLOOD INSURANCE COVERAGE	<input checked="" type="checkbox"/> [Y] <input type="checkbox"/> [N]
PREVIOUS TERMITE TREATMENT	<input checked="" type="checkbox"/> [Y] <input type="checkbox"/> [N]	SETTLING OR SOIL MOVEMENT	<input checked="" type="checkbox"/> [Y] <input type="checkbox"/> [N]
WATER PENETRATION OF BLDG	<input checked="" type="checkbox"/> [Y] <input type="checkbox"/> [N]	FAULTLINES OR LANDFILL	<input checked="" type="checkbox"/> [Y] <input type="checkbox"/> [N]
PREVIOUS STRUCTURAL OR ROOF REPAIR	<input checked="" type="checkbox"/> [Y] <input type="checkbox"/> [N]	SUBSURFACE STRUCTURE(S) / PIT(S)	<input checked="" type="checkbox"/> [Y] <input type="checkbox"/> [N]
ASBESTOS COMPONENTS	<input checked="" type="checkbox"/> [Y] <input type="checkbox"/> [N]	SPRING(S): UNDERGROUND	<input checked="" type="checkbox"/> [Y] <input type="checkbox"/> [N]
UREA FORMALDEHYDE INSULATION	<input checked="" type="checkbox"/> [Y] <input type="checkbox"/> [N]	SPRING(S): INTERMITTENT/WEATHER	<input checked="" type="checkbox"/> [Y] <input type="checkbox"/> [N]
RADON GAS	<input checked="" type="checkbox"/> [Y] <input type="checkbox"/> [N]	UNDERGROUND STORAGE TANKS	<input checked="" type="checkbox"/> [Y] <input type="checkbox"/> [N]
LEAD BASED PAINT	<input checked="" type="checkbox"/> [Y] <input type="checkbox"/> [N]	ENDANGERED SPECIES/HABITAT ON PROPERTY	<input checked="" type="checkbox"/> [Y] <input type="checkbox"/> [N]
ALUMINUM WIRING	<input checked="" type="checkbox"/> [Y] <input type="checkbox"/> [N]	HAZARDOUS OR TOXIC WASTE	<input checked="" type="checkbox"/> [Y] <input type="checkbox"/> [N]
PREVIOUS FIRES	<input checked="" type="checkbox"/> [Y] <input type="checkbox"/> [N]	DISEASED TREES	<input checked="" type="checkbox"/> [Y] <input type="checkbox"/> [N]
FOUNDATION REPAIR	<input checked="" type="checkbox"/> [Y] <input type="checkbox"/> [N]	FENCE LINES NOT CORRESPONDING TO PROPERTY BOUNDARIES	<input checked="" type="checkbox"/> [Y] <input type="checkbox"/> [N]
PREVIOUS FLOODING OF BUILDING(S)	<input checked="" type="checkbox"/> [Y] <input type="checkbox"/> [N]	WETLANDS ON PROPERTY	<input checked="" type="checkbox"/> [Y] <input type="checkbox"/> [N]
		UNPLATTED EASEMENTS	<input checked="" type="checkbox"/> [Y] <input type="checkbox"/> [N]

OTHER: termite damage repaired; annual treatment
some aluminum wiring

If the answer to any of the above is yes, explain. (Additional sheets if necessary):

5. ARE YOU (SELLER) AWARE OF ANY ITEM, EQUIPMENT, OR SYSTEM IN OR ON THE PROPERTY THAT IS NEED OF REPAIR, WHICH HAS NOT BEEN PREVIOUSLY DISCLOSED IN THIS NOTICE?
☐ Yes (if you are aware) ☒ No (if you are not aware). If yes, explain (attach additional sheets if necessary):

5706 Beverly Skyline, Austin, Tx
(Property Address)

01/55

ARE YOU (SELLER) AWARE OF ANY OF THE FOLLOWING? (Mark Yes [Y] if you are aware, mark No [N] if you are not aware.)

- ☐ Room additions, structural modifications, or other alterations or repairs made without necessary permits or not in compliance with building code in effect at that time?
- ☒ Homeowners' Association or maintenance fees or assessments?
- ☒ Any "common area" facilities (such as pools, tennis courts, walkways, or other areas) co-owned in undivided interest with others?
- ☒ Any notices of violations of deed restrictions or governmental ordinances affecting the condition or use of the Property?
- ☒ Any lawsuits or other legal proceedings directly or indirectly affecting the Property?
- ☒ Any condition of the Property which materially affects the physical health or safety of an individual?
- ☒ Features of the Property shared in common with adjoining landowners, such as walls, fences and driveways, whose use or responsibility for maintenance may have an effect on the subject Property?
- ☒ Any encroachments, easements or similar matters that may affect your interest in the subject Property?
- ☒ Land fill (compacted or otherwise) on the property or any portion thereof?
- ☒ Any settling from any cause or slippage, sliding or other soil problems?
- ☒ Major damage to the property or any of the structures from fire, earthquake, floods or landslides?
- ☒ Any future highway, freeway, air traffic patterns which affects this real Property?
- ☒ Any future annexation plans which affect this real Property?
- ☒ Within the previous 12 months, has there been an equity loan on this Property? If Yes, date ____/____/____
- ☒ Flood Insurance on Property?
- ☒ Previous FEMA claim paid?
- ☒ Death on the Property other than death caused by: natural causes, suicide, or accident unrelated to Property's condition.
- ☒ Was the dwelling built before 1978? ☐ Unknown
- ☒ Any repairs or treatment, other than routine maintenance, made to the Property to eliminate environmental hazards such as asbestos, radon, lead-based paint, urea formaldehyde, or mold?
- ☐ Other items of concern?

If the answer to any of the above is yes, explain. (Attach additional sheets as necessary):

built 1975

CHECK ANY TAX EXEMPTION(S) WHICH YOU (SELLER) CURRENTLY CLAIM FOR THE PROPERTY:

- ☒ Homestead
- ☐ Over 65
- ☐ None
- ☐ Disabled
- ☐ Disabled Veteran
- ☐ Other
- ☐ Agricultural
- ☐ Unknown

HAVE YOU (SELLER) RECEIVED ANY WRITTEN INSPECTION REPORTS FROM PERSONS WHO REGULARLY PROVIDE INSPECTIONS AND WHO ARE EITHER LICENSED AS INSPECTORS OR OTHERWISE PERMITTED BY LAW TO PERFORM INSPECTIONS? ☐ Yes ☒ No

If yes, attach copies and list the following:

Date of Inspection	Name of Document	Author of Report	Number of Pages

IS A PREVIOUS SELLER'S DISCLOSURE AVAILABLE? ☐ Yes ☒ No, if so, please attach.

IS A CURRENT SURVEY AVAILABLE? ☒ Yes ☐ No, if so, please attach.

HAVE ANY CHANGES BEEN MADE THAT WOULD AFFECT THE SURVEY? ☐ Yes ☒ No

HAVE YOU (SELLER) MADE, OR HAD MADE, MAJOR REPAIRS OR IMPROVEMENTS (COSTING \$500 OR MORE) TO THE PROPERTY DURING THE TIME YOU HAVE OWNED THE PROPERTY? ☒ Yes ☐ No. ARE YOU AWARE OF MAJOR REPAIRS OR IMPROVEMENTS MADE BY PREVIOUS OWNERS? ☐ Yes ☒ No. If yes to either, please explain.

1986 addition and remodel
2001 Kitchen remodel, garage enclosure, rebuilt entrance
2005 interior painting, decks painting
2003 Replaced downstairs (main level) heat pump; 2004 replaced upstairs (2nd level) heat
a/c & heat system a/c & heat pump system

2 - Replaced hot tub system

ACTRIS/SD 07/01

Initialed for identification by Seller

and Buyer

2001-2

Landscaping front & street-side yard

seller's Disclosure Notice concerning: 5106 Beverly Skyline, Austin, Tx 01/56
(Property Address)

0. SELLER HAS NOT RECEIVED ANY NOTICES, EITHER ORAL OR WRITTEN, REGARDING THE NEED FOR REPAIR OR REPLACEMENT OF ANY PORTION OF THE PROPERTY FROM ANY GOVERNMENTAL AGENCY, APPRAISER, INSPECTOR, MORTGAGE LENDER, REPAIR SERVICE OR OTHER PARTY EXCEPT:

[Signature]
Seller's Signature

5-6-05
Date

[Signature]
Seller's Signature

5/6/05
Date

THE UNDERSIGNED BUYER HEREBY ACKNOWLEDGES RECEIPT OF A COPY OF THIS STATEMENT.

NOTICE TO BUYER:
LISTING BROKER, Caldwell Banker, AND OTHER BROKER _____,
ADVISE YOU THAT SELLER'S DISCLOSURE NOTICE WAS COMPLETED BY SELLER, AS OF THE DATE SIGNED. THE LISTING AND OTHER BROKERS HAVE RELIED ON THIS NOTICE AS TRUE AND CORRECT AND HAVE NO REASON TO BELIEVE IT TO BE FALSE OR INACCURATE.

THE TEXAS DEPARTMENT OF PUBLIC SAFETY MAINTAINS A DATABASE THAT CONSUMERS MAY SEARCH, AT NO COST, TO DETERMINE IF REGISTERED SEX OFFENDERS ARE LOCATED IN CERTAIN ZIP CODE AREAS. TO SEARCH THE DATABASE, VISIT WWW.TXDPS.STATE.TXUS. FOR INFORMATION CONCERNING PAST CRIMINAL ACTIVITY IN CERTAIN AREAS OR NEIGHBORHOODS, CONTACT THE LOCAL POLICE DEPARTMENT.

YOU ARE ENCOURAGED TO HAVE AN INSPECTOR OF YOUR CHOICE INSPECT THE PROPERTY PRIOR TO CLOSING. ANY INSPECTION REPORTS FURNISHED BY THE SELLER ARE PROVIDED FOR INFORMATION PURPOSES ONLY AND ARE NOT INTENDED TO BE A SUBSTITUTE FOR AN INSPECTION PERFORMED BY AN INSPECTOR OF BUYER'S CHOICE.

THE DISCLOSURE NOTICE CONTAINS NO ESTIMATE OF THE NUMBER OF SQUARE FEET OF SPACE WITHIN THE RESIDENCE AND BROKERS MAKE NO REPRESENTATIONS REGARDING SUCH AREA. IF SQUARE FOOTAGE IS IMPORTANT TO BUYER, BUYER SHOULD HAVE IT MEASURED BY A PROFESSIONAL.

Buyer's Signature

Date

Buyer's Signature

Date

[NOTE: This form furnished by the AUSTIN/CENTRAL TEXAS REALTY INFORMATION SERVICE for the convenience of its Participants.]



May 18, 2011

Sylvia Benavidez
Austin Residential Zoning Review
505 Barton Springs Road
Austin, TX 78704

Re: Walker Residence, 5106 Beverly Skyline Variance Request

Dear Ms Benavidez:

I am Andrea Torres, President of the Highland Park West Balcones Area Neighborhood Association (HPWBANA). At our monthly public meeting on May 16th, 2011, we heard a presentation from Mr. Kirby Walker regarding plans for an addition and remodel of his home at 5106 Beverly Skyline (78731). It is our understanding that Mr. Walker is asking for an exception to the Floor to Area Ratio (FAR) specified in the McMansion ordinance.

After discussion of the plans the board voted unanimously to find that the remodel did not adversely affect the character of the neighborhood and we support the views of the immediate neighbors affected by this request.

In short, we do not oppose the increase of the FAR from 40% to 42.7%.

If you have any questions about the neighborhood association's position please contact me.

Sincerely,

Andrea Torres
HPWBANA President
andreatorres11@yahoo.com

D1/58

Written comments must be submitted to the board or commission (or the contact person listed on the notice) before or at a public hearing. Your comments should include the board or commission's name, the scheduled date of the public hearing, and the Case Number and the contact person listed on the notice.

Case Number: 2011-035597RM

ADDRESS 5106 Beverly Skyline

Contact: Sylvia Benavidez, 974-2522

Public Hearing: June 1, 2011

Residential Design and Compatibility Commission

<input checked="checked" type="checkbox"/> I am in favor
<input type="checkbox"/> I object

SHARON GROVER

Your Name (please print)

5106 BEVERLY SKYLINE

Your address(es) affected by this application

[Signature]

Signature

5/19/11

Date

Comments:

If you use this form to comment, it may be returned to:

City of Austin

Sylvia Benavidez

P.O. Box 1088

Austin, TX 78767-8810

D1/59

Written comments must be submitted to the board or commission (or the contact person listed on the notice) before or at a public hearing. Your comments should include the board or commission's name, the scheduled date of the public hearing, and the Case Number and the contact person listed on the notice.

Case Number: 2011-035597RM

ADDRESS 5106 Beverly Skyline

Contact: Sylvia Benavidez, 974-2522

Public Hearing: June 1, 2011

Residential Design and Compatibility Commission

<input checked="checked" type="checkbox"/> I am in favor
<input type="checkbox"/> I object

MICHAEL BARRETT
Your Name (please print)

5104 BEVERLY SKYLINE
Your address(es) affected by this application

M Barrett
Signature

5/21/11
Date

Comments: _____

If you use this form to comment, it may be returned to:
City of Austin
Sylvia Benavidez
P.O. Box 1088
Austin, TX 78767-8810